

BISBEE
Arizona

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DOCUMENT INTENT

Whether arriving from the north through the Mule Tunnel or coming in from the south past the Lavender Pit Mine, one can't help but realize that Bisbee is a special place with a very distinctive character. Houses cling to the sides of hills and canyons, reminding us of their origins as homes for the copper miners who sought any available space to build. Many of these homes are still only reached by the public staircases that crisscross the hillsides. Roads meander through the canyons much like the mule trails they replaced, defying any attempt to ever form the grid-like pattern typical of most cities. Downtown remains the business and social center of Old Bisbee. It is enlivened with its rich architectural landmarks, public spaces, and wonderful views that have survived a century of change.

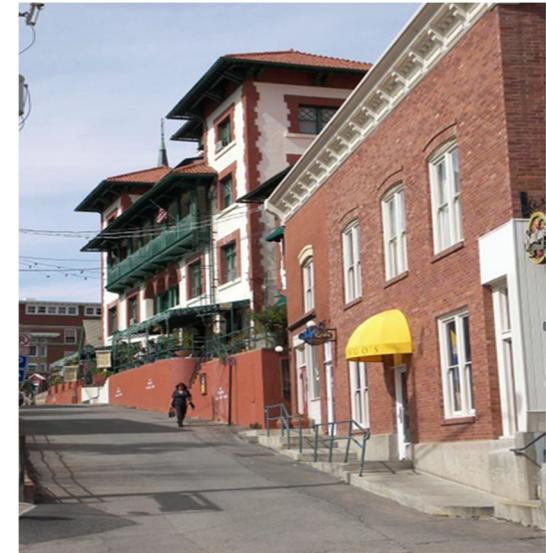
Recognizing the significance of Old Bisbee and the necessity of preserving it, the City Council created the local Bisbee Historic Register District in 1972 and the design review board process as we know it today. In 1980, the downtown commercial and surrounding residential areas were designated as a National Register Historic District. The National Register of Historic Places was established as part of the National Historic Preservation Act of 1966 and is overseen by the National Park Services. The City Council later adopted the Secretary of the Interior's Standards for Rehabilitating Historic Buildings in 1986. Volunteer members are appointed to the Design

Review Board and charged with reviewing all plans for exterior construction, modification, relocation, and demolition of structures in both the local and the National Register Historic District. Smaller details of lighting, signs, courtyard walls, fences, and landscaping, which have an effect on the appearance of the District, are also reviewed.

These Development Guidelines for the Bisbee Historic District, adopted in [2022](#), update and replace the Design Guidelines for the Bisbee Historic District 1986. This Development Guidelines document defines the Historic District Design Review Board and includes special provision for the Historic District, criteria for alterations and new construction, and review requirements and procedures. The criteria for contributing and non-contributing buildings is based on the most recent secretary of the Interior Standards. It also incorporates guidelines for art in public buildings and water harvesting, which were not included in the previous version.

The Historic Design Review Board continues to believe that although the Secretary of the Interior's Standards for evaluating projects are valuable, these need to be modified and refined to capture the unique character of Bisbee.

The Board recognizes the frustration that many applicants feel when their proposals are denied and other similar to theirs are approved. Hence, this document was created to accomplish the following goals:



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- Provide the Design Review Board with a reference guide for consistently and fairly reviewing design proposals;
- Offer developers and property owners a reference guide for designing their project;
- Streamline the Design Review Process;
- Educate residents and visitors about some of the precious aspects of Old Bisbee and the need to preserve and enhance them;
- Serve as a model for other Historic places desiring to preserve their cultural heritage;
- Ensure the long-term livability, vitality and sustainability of Bisbee's Historic District and the City;

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- Protect/maintain the designation of Old Bisbee on the National Register of Historic Places; and
- Continue to attract visitors to Old Bisbee.

THE HISTORY OF BISBEE

Today, no one can say with any certainty when the first mineral deposits were discovered in the Bisbee District. There are those who say that the Apache and Spaniards knew of some scattered ore deposits and were able to utilize them to some degree, but there is no way to authenticate these accounts.

What we know for certain is this, three men; John Dunn, T.D. Byrne, and Lieut. J. A. Rucker, scouting for the Army in 1877 drifted up the canyon to the area that has since become the City of Bisbee. These three adventurers were looking for good water and possibly signs of Apache habitation.

What caught their eye instead were some oddly colored rock formations which prompted them to file the first recorded mining claim on August 2, 1877. The claim was called the Rucker, in honor of the Lieutenant.

The Bisbee Historic District is located in the Mule Mountains at an elevation of 5,300 feet. From the beginning, it has been a power to reckon with. Unlike the majority of short lived gold and silver boom towns, the foundation of Bisbee was

laid solidly in stable copper. This produced a flow of wealth that continued almost nonstop for nearly 100 years. Bisbee was known by miners from all over the world as one of the greatest copper camps of all time.

The first major find of copper ore was made in an open cut on the hillside above the present day library/post office building. The discovery of this mine, the "Halcro," was named after the man who found it. Later owners changed the name to the, now famous, Copper Queen. The first smelter was also located at this spot.

The second smelter, a more modern facility, was located on Queen Hill, later Bucky O'Neil Hill, behind the Czar Shaft on the slope above the buildings that now house the City of Bisbee's "Queen Mine Tours". A larger and efficient smelter was completed in Douglas in 1904.

By the early 1900's Bisbee had its roots firmly down and was expanding in all directions. Mostly up. Every available slope seemed to sprout a shack, a house or some similar structure. Our ancestors became adept at putting buildings on land many thought to be too steep and inaccessible. Much of Old Bisbee's romantic aura exists today in terraced lots cut into the steep slopes, with stone retaining walls holding them in place and access to them by narrow and crooked streets.

The newly-born camp was named in honor of Judge Dewitt Bisbee, a partner in the San Fran-

cisco Mining Firm of Bisbee, Williams and Company. The Judge helped finance the first smelter for the Williams Brothers, who as history shows, were prime movers in Bisbee's infant years.

The importance of a railroad to the growth and survival of these early mining camps cannot be overestimated. Fortunate indeed was the town that could finance the iron road and at the same time to be geographically accessible to such marvels. With the completion of the railroad and the arrival of the steam cars in 1888-1889, the future of Bisbee was assured. The Arizona and South-eastern Railroad was built from Fairbank, near Tombstone, southeast along the San Pedro River and then north for a short distance into Bisbee, a total of some 38 miles. Ore in great volume could now be shipped easily to the railhead at Fairbank, vastly improving the profit margin for the mining companies. In addition, every necessity and modern convenience that one might want or was able to afford could now be brought in on train. Everything from coal oil to pianos arrived aboard train cars.

Even in a brief history of Bisbee, it would be remiss not to mention George Warren. His semi-tragic life and how he figures in Bisbee's history can be discovered at the Mining Museum in Downtown Bisbee. Another person of great importance and one who looms prominently in Bisbee's drama is James Douglas. He arrived in 1881, soon becoming very conspicuous in the affairs of Bisbee and later

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was the “moving spirit” of the Phelps Dodge Corporation.

Like nearly all frontier mining camps, Bisbee encountered its share of natural calamities. Fires and floods periodically took their toll. Even today the flood waters racing down Brewery Gulch during monsoon season are something to behold. The fear of fire was always present in the old camps and the great fire of 1908 was one of several conflagrations that took many of the early buildings.

Bisbee now serves as the Cochise County seat which was formerly in Tombstone. The land for the new courthouse was donated by the mining company. Governor G.W.P. Hunt was the keynote speaker at the dedication in August of 1931. The “Iron Man” statue in front is a monument to Bisbee miners by Scottsdale sculptor Philip Sanderson. It was dedicated in 1935 by Arizona Congresswoman Isabella Greenway.

STATE HISTORIC PRESERVATION OFFICE

The State Historic Preservation Office (SHPO) is responsible for the identification, evaluation, and protection of Arizona’s prehistoric and historic cultural resources. The SHPO staff represents various areas of expertise, including history, prehistoric and historic archaeology, historical architecture, and grants management. The programs and services provided by the staff are diverse and meet a range of needs within the public and private sectors of Arizona.

The Arizona SHPO assists private citizens, private institutions, local governments, tribes, and state and federal agencies in the identification, evaluation, protection, and enhancement of historic and archaeological properties that have significance for local communities, the state of Arizona, or the nation. The role and function of the SHPO is defined in both state law (Arizona Historic Preservation Act) and federal law (National Historic Preservation Act, as amended). In 1980, Congress established a framework for local preservation programs through an amendment to the National Historic Preservation Act. This program recognizes political subdivisions of Arizona, such as cities and counties, which may apply to the SHPO to become Certified Local Governments. Once certified, the entities are eligible for specialized assistance and funds for developing their own local preservation programs.

CERTIFIED LOCAL GOVERNMENTS

In 1980, the National Preservation Act of 1966 was amended to provide support to grassroots historic preservation (HP) efforts as a function and responsibility of local governments. Certification of the local government (CLG) HP program by National Park Service is administered by the State Historic Preservation Office (SHPO). In concert with national and state HP programs, the ability to perform three fundamental program functions qualify a local government for certification:

- **Identification** – Through survey, properties (buildings, structures, objects, and districts) within the local jurisdiction are identified for potential designation within the local register as worthy of preserving.
- **Designation** – As Authorized by the local government zoning ordinance, the establishment of an HP overlay zone designates properties of historical importance at the national, state, and local level for their association within the context of broad patterns of history, association with a person important in history, or association with a distinctive aesthetic style of movement or school of design, architecture, historic architectural vernacular, or landscape planning.
- **Protection** – Establishment of an Historic Preservation Advisory Commission for design review pursuant to the Secretary of the Interior’s Standards for the Treatment of Historic Properties. In Bisbee, this role is fulfilled by the Design Review Board.

The Design Review Board guides the local government’s actions in issuing permits for building permits for additions or alterations that directly affect designated properties, or issuing permits for new construction within designated districts, and demolition permits.

In addition to technical assistance and training for HP commissioners and staff, financial support for preservation planning is provided by SHPO in the

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form of pass-through grants from each state's apportionment of the National Historic Preservation Fund derived from off-shore oil leases.

PRESERVATION, MAINTENANCE AND RENOVATION

Ultimately, the City hopes to encourage preservation of its important historic structures through careful renovation and regular, yet historically-sensitive, property maintenance. The following section is intended to steer property owners in the proper direction regarding property preservation, maintenance and renovation.

A. Which is most appropriate preservation, maintenance or renovation?

Choosing the most appropriate treatment for a building requires careful decision-making about a building's historical significance shall take into account the following considerations:

1. **Relative Importance in History:** Is the building a nationally significant resource--a rare survivor or the work of a master architect or craftsman? Did an important event take place in it? Is it an excellent example of historical vernacular construction that has remained true to its original design, with little to no exterior visual indications of alterations, modernizations or additions? Does the structure embody distinctive characteristics of a type, period, or method of construction? National Historic Landmarks, designated for their "exceptional significance in American history," or many buildings individually listed in the National Register often warrant Preservation or Restoration. Buildings that contribute to the significance of a historic district but are not individually listed in the National Register more frequently undergo Rehabilitation for a compatible new use.
2. **Physical Condition:** What is the existing condition--or degree of material integrity--of the building prior to work? Has the original form survived largely intact or has it been altered over time? Are the alterations an important part of the building's history? Preservation may be appropriate if distinctive materials, features, and spaces are essentially intact and convey the building's historical significance. If the building requires more extensive repair and replacement, or if alterations or additions are necessary for a new use, then rehabilitation/renovation is probably the most appropriate treatment. These key questions play major roles in determining what treatment is selected.
3. **Proposed Use:** An essential, practical question to ask is: will the building be used as it was historically or will it be given a new use? Many historic buildings can be adapted for new uses without seriously damaging their historic character; special-use properties such as grain silos, forts, ice houses, or windmills may be extremely difficult to adapt to new uses without major intervention and a resulting loss of historic character and even integrity.
4. **Mandated Code Requirements:** Regardless of the treatment, code requirements will need to be taken into consideration. But if hastily or poorly designed, a series of code-required actions may jeopardize a building's materials as well as its historic character.
 - Modifications to the historic appearance should be minimal.
 - Abatement of lead paint and asbestos within historic buildings requires particular care so that important historic finishes are not adversely affected.
 - Alterations and new construction needed to meet accessibility requirements under the American with Disability Act of 1990; should be designed to minimize material

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loss and visual change to a historic building.

- As stated in the City of Bisbee Zoning Regulations, any existing building, structure, or appurtenance thereto in the Bisbee Historic District which does not meet the requirements of the district's criteria shall be considered nonconforming except for repairs and maintenance.

B. What gives the structure historic character?

Identifying the form and detail of those architectural materials and features that are important in defining the building's historic character and which must be retained in order to preserve that character, included, but are not limited to:

- The form and detailing of exterior materials, such as masonry, wood and metal;
- Windows, doors, shutters, columns, porches, decks, roof treatment and form, garage doors as well as architectural treatments like fascia, frieze and corner boards;
- Stairways, room configuration and spatial relationships;
- Structural and mechanical systems; and
- The building's site and setting

C. General Guidelines

Once the extent of the preservation activity has been determined as well as the relevant defining features to retain the maximum degree of historical character, the following general guidelines should be followed.

- Use of Property:** A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property shall be protected and, if necessary, stabilized until additional work may be undertaken.
- Material Preservation and Replacement:** The historic character of a property shall be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property shall be avoided. Distinctive stylistic features, materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property, such as wood frame windows and wavy glass, shall be preserved.
- Alteration Basis:** Each property shall be rec-

ognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research. All buildings, structures and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

- Changes Over Time:** Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- Surface Cleaning:** Chemical or physical treatments such as surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible. Sandblasting and other cleaning methods that may damage historic materials shall not be used.
- Archeological Resources:** Archeological resources shall be protected and preserved in place.

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If such resources must be disturbed, mitigation measures shall be undertaken.

1. **New Additions:** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment without imitating historic buildings. This only applies to new additions and/or extensions on existing historic buildings. Whenever possible, additions or alterations to structures shall be constructed so that, if the addition or alteration is later removed, the essential form and integrity of the structure would be unimpaired.

RECONSTRUCTION

Reconstruction may be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.

1. Reconstruction of a landscape, building, struc-

ture, or object in its historic location shall be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures shall be undertaken.

2. Reconstruction shall include measures to preserve any remaining historic materials, features, and spatial relationships.
3. Reconstruction shall be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property shall re-create the appearance of the non-surviving historic property in materials, design, color, and texture.
4. A reconstruction shall be clearly identified as a contemporary re-creation.
5. Building designs that were never executed historically shall not be constructed.

NONCONFORMING STRUCTURES

Any existing building, structure, or appurtenance thereto in the Bisbee Historic District which does not meet the requirements of the district's criteria shall be considered nonconforming except for repairs and maintenance. No nonconforming building or structure may be added to or altered in any way unless the proposed addition or alteration, such as removal of a modern addition or non-historical exterior wall treatments, shall bring the whole to a higher degree of conformity with design components of the district.

HOW TO USE THIS DOCUMENT

The development guidelines contained in this document are intended to help you plan your project. They apply to all new construction, public or private, and all exterior rehabilitation and remodeling.

In addition, all new construction and all exterior rehabilitation and remodeling is subject to all applicable building codes, historic overlay zones, and zoning regulations. If your project is located within Bisbee's historic district, we encourage you to meet with the Design Review Board Liaison City staff member to discuss your ideas prior to starting the design phase of a project.

For more information, please contact: **The City of Bisbee:** (520) 432-6000

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RELATIONSHIP TO ZONING

The City of Bisbee has codified the requirements of these guidelines with the establishment of a historic preservation overlay district. This is zoning overlay that has regulatory authority over the areas indicated on the Map (Page 2). Building and areas within the Historic Preservation Overlay District shall be subject to guidelines and procedures outlined in the City of Bisbee Zoning Code and these guidelines and procedures supersede all other zoning requirements. These requirements are illustrated and clarified, where necessary, in this document.

The Historic Preservation Overlay Zone or Historic District is intended to protect, preserve and enhance the City's character, historical significance and regionally distinctive architecture. This zone enhances the City's general health, safety and welfare. The Historic Preservation Overlay Zone is superimposed over other zones. Land use zoning designations are generally defined in the Zoning Code, but the general regulations on lot area, width, depth, building height and setbacks do not apply within this District. The particular regulations for the Historic District are specified within the Special Provisions for the Historic District.

DEFINITIONS

Within the Bisbee Historic District, the following words shall have the indicated meanings:

Board and Batten: A type of exterior siding that

has alternating wide boards and narrow wooden boards.

Building Lot: (As defined in the Bisbee Zoning Code) Lots shall mean a legally created parcel of land occupied or intended for occupancy by one main building together with its accessory buildings, and uses customarily incident to it, including the open spaces required and having its principal frontage upon a street.

Building Official: City of Bisbee Building Inspector or their designee.

Casement Window: Window with hinges at one side.

Clapboards: Narrow boards applied horizontally to an exterior wall, each of which overlaps the one below it to create continuous skin over the wooden frame.

Clerestory: (also clearstory, or overstory) A window or a band of windows across the top of the display glass designed to admit more light into the store's interior. The purpose of the clerestory is to give light to the inner space of a large building. Clerestory is also defined as a window or band of windows across the top of the display glass designed to admit more light into a store interior which is often quite deep.

Contributing Structure: Adds to the historical or traditional cultural associations, historic architectural qualities, or archeological values for which a property is significant because it was present during the period of significance, relates to the docu-

mented significance of the property, and possesses historical integrity or is capable of yielding important information about the period; or it independently meets the National Register criteria.

Corner Board: A wide (about 5") board placed vertically at the corners of the house over horizontal siding or shingles.

Cornice Molding: A horizontal molded projection that completes a building or wall.

Dormer Window: A window and window structure that projects from the slope of the roof.

Double-hung Window: Window with two sashes, one above the other, each of which slides vertically.

Eave: Lower edge of roof extending beyond the exterior wall.

Elevation: A view of a building seen from one side.

Façade: Usually the front exterior elevation or face of a building.

Fences: Any structure, not integral to any building, used as a barrier to define boundaries, screen off, or enclose a portion of the property.

Frieze Boards: A wide (1 x 10 or 1 x 12) board nailed on top of the siding material underneath the eave at the gable end of the house.

Gable: The triangular section of exterior wall just under the eaves of a double-sloped roof.

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Hip Roof: A roof with slopes in the direction of each elevation, commonly in four directions.

Historic District Design Review Board: (also “Design Review Board” or “Board”) A board consisting of seven volunteers from the Old Bisbee community, appointed by the City of Bisbee, with the authority to review applications for exterior construction, reconstruction, alterations or structural changes to buildings within the Historic District Overlay Zone. Following its review and deliberations at regularly scheduled public meetings, the Board is authorized to approve, approve with conditions, or deny the applications.

Historic Site, Structure, or Landmark: A site or structure with special significance including attached signs which:

- Is documented as dating from a particular significant period (s) in Bisbee’s history;
- Is associated with the lives of historic people, significant historic events or occurrences;
- Exemplifies the architectural period in which it was building and has distinguishing characteristics of an architectural style or method or construction;
- Contributes information of archaeological, historical, cultural or social importance relating to the heritage of the community and/or;
- Relates positively to buildings in the immedi-

ate vicinity in terms of scale, size, massing, etc., so that its removal would be an irreparable loss to the setting.

Horizontal Bands: A building may have a decided narrow and vertical look which is counterbalanced by the introduction of horizontal brick bands and horizontal clerestory windows.

Intrusion: A structure which detracts from the districts sense of time and place or its architectural continuity.

Multi-Family Residential: A residential structure that is designed to house several different families in separate housing units.

Muntin: Wood pieces separating panes of glass in a window sash.

Non-Contributing Structure: Does not add to the historic architectural qualities, historical or traditional cultural associations, or archeological values for which a property is significant because it was not present during the period of significance or does not relate to the documented significance of the property; or due to alterations, disturbances, additions, or other changes, it no longer possesses historical integrity or is incapable of yielding important information about the period; or it does not independently meet the National Register criteria.

Pilaster: A slightly-projecting column built into or applied to the face of a wall. Most commonly flattened or rectangular in form, pilasters can

also take a half-round form to the shape of any type of column.

Pitch of roof: The angle of a roof slope, expressed in a ratio of vertical to horizontal.

Preservation: Is defined as the act of process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive, replacement and new construction. New exterior additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project.

Reconstruction: The act or process of depicting, by means of new construction, the form, features, and detailing of non-surviving site, landscape, building structure, or object for the purpose of replicating its appearance at a specific period of time and in its appearance at a specific period of time and in its historic location.

Rehabilitation: The act of process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

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Repointing (of masonry): The replacing of mortar between the bricks and stones. This should be done with compatible mortar.

Restoration: Process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems, and other code-required work to make properties functional is appropriate within a restoration project.

Shed roof: A single pitched roof.

Shingle siding: Thin pieces of wood, butt end is thicker than the other, attached in overlapping courses, sometimes cut in rounded or other decorative shape.

Single-Family Residential: A residential structure that may be fully detached, semi-detached, a row house or a townhome. If attached, it must be separated from the adjacent unit by a ground-to-roof wall. Units must not share heating or air-conditioning systems or utilities, nor have units located above or below.

Single-hung Window: Window with two sashes, one above the other the lower of which sides vertically.

Street: (as defined in the Bisbee Zoning Code) Street shall mean a dedicated public or private

passageway which affords a principal means of access to abutting property.

Transom: Is the horizontal lintel or beam across a window, dividing it into stages or heights. It also can refer to a fixed window over a door or another window.

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PLANNING YOUR PROJECT

The intent of the Design Review process as applied within the Bisbee Historic District is to:

- Improve and encourage uses leading to the conservation and/or rehabilitation of buildings, structures, sites, objects and spaces within the Historic District, while allowing for a vibrant, creative and livable community.
- Encourage harmonious growth and orderly development.
- Prevent construction, alteration or remodeling from occurring in a manner that would be detrimental to the historical or visual characteristics individual structure as well as the district.

Consequently, the historic and architectural characteristics of an alteration to an existing structure or of a proposed new structure shall:

- Properly preserve and/or generally conform to the character of the structures located with the district as defined herein.
- Adhere to the “Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings.”

The bulk of building activity within the historic district will address the renovation of existing structures.

There are two main issues to be considered: (1) respecting the original features of the buildings, and (2) how best to relate the proposed changes to existing neighborhood styles. Although new construction does not have to deal with consideration number one, any new design shall take into account the existing neighborhood styles while at the same time, retaining its own distinct character. Any project or design, whether public or private must also meet all applicable requirements set forth in the City of Bisbee Zoning Code and in these Development Guidelines for the City of Bisbee Historic District. Whether the project is a remodel or new construction the planning procedure consists of the following preliminary steps:

1. Review the guidelines to ascertain what design features will be appropriate. (This applies to all rehabilitation, rehabilitation and maintenance projects).
2. Determine the building’s historic qualities. If a building is historically significant then the Historic District Design Review Board will expect special precaution and care to be taken to preserve the original architectural features.
3. Develop preliminary ideas. The applicant is encouraged to bring ideas to the Historic District Design Review Board Liaison for help in the early design stage.
4. Pre-submittal meeting. During this meeting, the Applicant, or their designee, meets with

the Historic District Design Review Board Liaison prior to submitting an application for Historic District Design Review Board review.

During this pre-submittal meeting the applicant will become aware of issues or concerns that may need to be addressed and will have an opportunity to ask for clarifications about the Design Review Process. In addition, the Applicant will be informed whether or not their proposal may be reviewed administratively. Relatively minor changes may be reviewed administratively at the discretion of the Historic District Design Review Board Liaison/Building Official. See “Administrative Review” section for the scope of this review and additional information.

5. At this stage actual plans are drawn in preparation for filing an application to the Historic District Design Review Board. In the case of signs, fences, walls, etc., accurate, scaled site plans will be sufficient in lieu of formal plans.
6. Complete an “Application for Design Review,” outlining the project. Include all applicable documentation to your Application Submittal Packet. Pending acceptance of this application a meeting will be noticed and scheduled with the Historic District Design Review Board.
7. Meeting attendance by the owner, or a representative designated by the owner, at the Historic District Design Review Board meeting is mandatory.

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It shall be the responsibility of the applicant to prove to the Historic District Design Review Board or its designee, the Historic District Design Review Board Liaison, that the project in question conforms with the intent and purpose established in adopted design guidelines.

- a. During this public meeting, the applicant will be required to demonstrate how the elements to be utilized will make the new construction compatible to the existing historic elements in the neighborhood.
 - b. If the applicant or their designee fail to appear in person at the scheduled meeting, the Board may table the application until its next regular meeting.
 - c. At this meeting the Design Review Board will approve, approve with conditions, or deny the proposed alteration or new construction.
8. The City of Bisbee Historic District Design Review Board will retain one copy of the submitted information for its files.
 9. After an approval by the Historic District Design Review Board a building permit shall be obtained by the Applicant.

ADMINISTRATIVE REVIEW

Property owners of the historic district have the right, and are encouraged, to maintain their property. Consequently, the Building Official may approve a building permit without Historic District Design Review Board approval for any work that consists of repair work, in which the scope does not alter the character of the structure or, provided repairs are infeasible, where only similar replacement materials will be used. This includes repairs and improvements such as re-roofing, gutters, utility connections, and other similar non-structural elements. In order to be granted Administrative Approval, an Application for Administrative Approval must first be completed, accepted and obtained prior to the commencement of work or issuance of a building permit, if required.

THE HISTORIC DISTRICT DESIGN REVIEW BOARD

The Historic District Design Review Board has the power to review proposals for exterior construction, reconstruction, alterations or structural changes and to approve, approve with conditions, or deny an application in the Historic District Overlay Zone. Said powers may be delegated by the Historic District Design Review Board to the Historic District Design Review Board Liaison to approve, approve with conditions, or deny an application for a minor remodel. The Historic District Design Review Board is responsible for the

review of all proposals involving exterior construction, reconstruction, alterations or structural changes, which includes but is not limited to room additions, new roofline, new porches, fences, and new awnings.

Prior to the change of any building's exterior features, by remodeling or alteration, and prior to any new construction, relocation or demolition within the District, the property owner, or his designated agent, shall secure the approval of the Historic District Design Review Board. This is not limited to work requiring a building permit. For commercial buildings located within the portion of the District that is officially included within the National Register of Historic Places, each property owner shall obtain specific approval from the Historic District Design Review Board prior to painting or re-surfacing any existing, unpainted brick or stone structures and/or prior to covering or altering any of the existing signs painted on the building facades in this area.

The Historic District Design Review Board, or Historic District Design Review Board Liaison, upon hearing an application, shall impose such reasonable conditions as it may deem necessary in order to carry out fully the provisions and intent of this document and the zoning ordinance.

Alterations being presented formally to the Historic District Design Review Board are differentiated based on the specific classification of the building or structure under consideration as being:

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- Contributing;
- Non-Contributing; or
- New Construction

APPLICATION/CHECKLIST

Prior to the preparation of final architectural or engineering drawings for all sites, buildings, structures, enclosures or appurtenances to be erected, constructed, converted, remodeled, altered or enlarged, and prior to the issuance of any building permit, the property owner shall submit the following for the Historic District Design Review Board's consideration:

A. Remodeling/Alterations of to the Exterior of Non-Contributing Buildings and Structures

Submit an application packet to the City of Bisbee Historic District Design Review Board Liaison. The number of copies and accepted format for submitted shall be indicated on the application. A complete application for Architectural Design Review shall include the following documentation:

1. Application, which includes the applicant's name, mailing address, location of property, legal description of property and other information deemed necessary by the Building Official and the Historic District Design Review Board;
2. Site Plan, to scale, showing area covered by the building or structure, parking areas, and landscaping treatment and any other information pertinent to understanding the appli-

cation;

3. A listing of exterior materials to be used and their locations, and where appropriate, samples of such materials;
4. Catalog Cuts, in lieu of drawings, may be used to show windows, doors, light fixtures, fences and other manufactured products to reduce application preparation expenses.
5. Written specifications for materials. In the case of a sign, or any other attached material, the method of attachment must be specified.
6. Elevations of the building project, including measurements, are required. Design detail must be included. The maximum height must also be included. Floor plans are helpful to understand exterior design intent.
7. Photographs of the existing building showing the location of the changes. Photographs must be provided digitally or as photocopies on 8 ½ x11 paper.
 - a. Photographs can be used to illustrate the history of a building and/or show a building in context to its neighbors.
 - b. Photographs of nearby properties that help define the immediate neighborhood.
 - c. Historical photographs of the existing building and its immediate surroundings.

B. New Construction/Infill or Exterior Alteration of Contributing Buildings or Structures

All new construction of exterior alterations to contributing buildings or structure must maintain the architectural Integrity of the area. New construction shall not attempt to imitate historical features; rather, whether contemporary or vernacular, it shall harmonize with the character of the surrounding neighborhood by maintaining comparable scale, volume, massing, proportion and rhythm.

In addition to all applicable items requested within the application packet, new construction and exterior alterations of historic buildings inside the historic district must provide the following items as part of the application package.

1. Exterior elevations, perspective renderings and photo montages on a maximum paper size of 11x17, showing the elements of the proposed new construction and allowing for the comparison of neighborhood and proposed new construction characteristics such as:
 - Orientation and site location;
 - Scale, proportion, and building mass;
 - Building coverage/square footage (including covered porches);

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- Roof shape/roof slopes;
 - Porches and balconies;
 - Rhythm of window and door openings;
 - Materials, decorative finish details;
 - Foundation type; and
 - Garage locations, if detached.
2. Exterior Elevations and/or Photographs of all adjacent structures, as well as photographs of other nearby properties that help define the immediate neighborhood.

C. Demolition or Movement of Historic Buildings

The Historic District Design Review Board must review all demolition applications and relocation applications for any significant part of any building in the Historic Preservation (HP) Overlay District. No permit shall be issued by the Building Official until it has been granted approval by the Historic District Design Review Board. In making its decision, the Historic District Design Review Board should determine whether and to what extent demolition or movement affects the structure in question or any contributing structure within the district as demolition and/or movement can have significant impact on the City in general. For permit approval the applicant must show that preserving the building is not physically and/or economically feasible.

1. Approval: The Historic District Design Review Board may recommend approval of the demolition or relocation application if the structure is judged by the Building Official to be a hazard to public safety that cannot otherwise be rectified. The Building Official may either issue the permit, or deny the permit based on other duly adopted and applicable ordinances or regulations.
2. Denial: If preservation or rehabilitation is determined by the Board to be feasible, and if the structure has been designated as one having special significance or as a contributing property within the District, the Historic District Design Review Board shall deny the permit for demolition or movement of a structure.

REVIEW PROCESS

Most decisions are issued within 45 days of application submittal.

1. Applicant submits application (including all items in the attached checklist) to City of Bisbee. All applications must be received at City Hall no less than fifteen (15) calendar days prior to the next regularly scheduled meeting of the Historic District Design Review Board in order to be presented at the next meeting. If the applicant fails to appear in person, or through a designated representative, at the scheduled meeting, the Board may table the application to its next meeting.

Certain applications, for work that may have a greater potential to impact the character of the historic district require additional notification, to be completed by City staff, prior to presentation to the Historic District Design Review Board. This includes the following project types:

- a. the construction of a new building or structure within the District, other than the construction of a sign, fence or wall;
- b. the demolition of any building or structure, other than minor storage facilities or accessory buildings;
- c. the increase of the height of any existing building; or
- d. any substantial modification to any building or structure that has been designated as having special significance or as a contributing structure within the District.

In cases that involve any of the above considerations, the application packet must be received no less than thirty (30) calendar days prior to the Historic District Design Review Board hearing.

2. Staff reviews application for completeness within five (5) days of submittal. If the application is not complete, the applicant will be notified as to what information is missing and allowed five (5) days to submit the additional

CHAPTER 2

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information without interruption of the application process.

3. After all required information is submitted, the application is deemed complete and staff sets the date for the public hearing at the next available Historic District Design Review Board meeting. Written notice of the hearing, including a description of the proposed action and a drawing depicting the proposed exterior elevations, must be mailed, by first class mail, to all property owners located within 300 feet, NOT LESS THAN 15 DAYS PRIOR TO THE HISTORIC DISTRICT DESIGN REVIEW BOARD HEARING. Staff prepares posting signs and sends notices.
4. City staff posts signs along street frontage of property 15 days prior to hearing.
5. The Historic District Design Review Board holds the public hearing. The Design Review Liaison presents the staff report, followed by testimony from applicant, proponents, opponents and rebuttal.
6. The Historic District Design Review Board renders its decision based upon whether the proposal meets the applicable criteria.
7. If during its review the Historic District Design Review Board determines that an applicant's submittal does not accurately, sufficiently or definitively document the work proposed in the application, the Historic District Design

Review Board may deny the application. The Historic District Design Review Board may elect to defer its decision until such time that the applicant has furnished satisfactory documentation. Further, if during the discussion of the application at a Historic District Design Review Board meeting, significant changes to the original application are agreed to by the Board and applicant, such changes must be adequately described in a motion to be passed by the Board. If such changes cannot be adequately described in a motion, the applicant must provide an amended submittal to the Historic District Design Review Board prior to approval of the application.

8. Staff sends copy of decision, which includes a thirty (30) day appeal period noting to the applicant. Any applicant dissatisfied or aggrieved by the Historic District Design Review Board's decision may appeal the decision by filing a written notice of appeal.
9. If an appeal is not filed, the Historic District Design Review Board decision becomes effective.
10. Prior to the issuance of a building permit for any improvements within the District, the Building Official shall determine that the building permit application is in substantial conformance to the application presented and approved by the Historic District Design Review Board. A building permit must be applied for within six (6) months unless it is for

new construction then a Building permit must applied for within one (1) year of approval by the Historic District Design Review Board, or otherwise, the applicant must resubmit to the Historic District Design Review Board.

11. An Extension of a Design Review Board Application should be requested to the expiration of the approval period. A one (1) time extension may be granted for a period of three (3) months for a fee.
12. A fee will be charged for any amendments to an already approved Design Review Board Application.
13. If applicable, a building permit is issued, for the improvement subject to the application.
14. The Building Official shall ensure that all matters approved by the Historic District Design Review Board are undertaken and completed according to the decision of the Historic District Design Review Board. The Building Official is authorized and required to stop any work attempted to be done without, or contrary to, the approval of the Historic District Design Review Board.

APPEALS

Any applicant for the Historic District Design Review Board approval or any other person that is dissatisfied or aggrieved by the decision of the Design Review Board may appeal the decision to the Board of Adjustment by filing a written Notice

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any such decision. The appellant and any other aggrieved party, including members of the Design Review Board, may be heard in any appeal to the Board of Adjustment during the time scheduled for any such appeal.

The Board of Adjustment shall review the decision of the Design Review Board and the record presented to it and may affirm, reverse or modify any such decision. The appellant and any other aggrieved party, including members of the Design Review Board, may be heard in any appeal to the Board of Adjustment during the time scheduled for any such appeal.

the City of Bisbee will begin issuing violation notices and seek all remedies and penalties in accordance with Bisbee City Code.

VIOLATIONS

The City of Bisbee may assess a fine and your county property tax reclassification may be withdrawn.

DEMOLITION BY NEGLIGENCE

If a structure in the District is judged by the Building Official to be in danger of falling into irreparable condition because of neglect, a Notice of Neglect will be sent to the Legal Owner stating the conditions that must be remedied. Within 60 days of such notice, the Owner may request a public hearing before the Design Review Board.

The Design Review Board may rescind or confirm all or part of the Notice of Neglect based on information provided by the Owner. If the Design Review Board confirms the Notice of Neglect or Owner fails to correct the conditions listed,

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SINGLE-FAMILY RESIDENTIAL DESIGN GUIDELINES

COMMON APPROACH

Using the Secretary of the Interior's Standards and the City of Bisbee's Ordinance as well as other criteria, the Design Review Board and the city staff have determined that the historic time period under consideration is from 1880 until 1940. The design for rehabilitation/remodels should be influenced by surviving architectural examples as well as by photographic documentation. Infill and new construction, on the other hand, must reflect their contemporary styles while harmonizing in scale, mass, rhythm and height with the surrounding historic buildings and structures. The rehabilitation of residential structures should be generally approached in the following manner:

1. It is important to retain the characteristics of an existing structure. Do not obliterate or drastically change the exterior of buildings. Similarly, do not cover or remove significant architectural elements.
2. Repair the original material wherever possible rather than replace with new materials;
3. Restore the original surface by cleaning or repainting;
4. Replace architectural elements and features only if absolutely necessary with materials that match the original. These must be done in conformance to all the applicable development guidelines for the Bisbee Historic District included earlier on this document.

A. Materials

The selection and application of appropriate materials for residential (or commercial) new construction or remodel work is of paramount importance to the look of the historic district. This means that it would not be correct, for example, to select an acceptable siding material and then to apply the siding in a contemporary pattern such as a diagonal. It is a good idea to study existing structures and old photographs for guidance.

B. Styles

The applicant should be aware of the need to keep any remodeling changes within the context of one style. For example, a house constructed in 1910 can appropriately feature double hung windows, horizontal siding, and a gable roof. Another house constructed in 1910 can appropriately feature a shed-roofed adobe dwelling. While both styles are appropriate, combining these two "correct" styles would not produce the desired effect and would be considered poor design.

C. Proportions

Generally speaking, the homes of our predecessors were smaller than those houses that we build today, with the overall feel of exterior proportions having a vertical emphasis rather than horizontal. Ceiling heights of nine to ten feet were common in residential structures which accounts for some of the vertical look of these

buildings. Buildings lots were often deeper than they were wide which sometimes dictated the narrow and vertical design elements and proportions.

GENERAL GUIDELINES

A. General Guidelines

1. New infill/construction shall not attempt to imitate historical features; rather, whether contemporary or vernacular, it shall harmonize with the character of the surrounding neighborhood by maintaining comparable scale, volume, massing, proportion and rhythm.
2. New construction must ensure compatibility with other character-defining features of historic buildings in that neighborhood through careful attention to the following aspects of a building:
 - a. Orientation and site location;
 - b. Scale, proportion, and building mass;
 - c. Building coverage/square footage (including covered porches);
 - d. Roof shape/Roof slopes;
 - e. Porches and balconies;
 - f. Rhythm of window and door openings;
 - g. Materials, colors, textures, and decorative finish details;

CHAPTER 3

SINGLE-FAMILY RESIDENTIAL DESIGN GUIDELINES

- h. Foundation type; and
- i. Garage locations, if detached.

B. Building Height

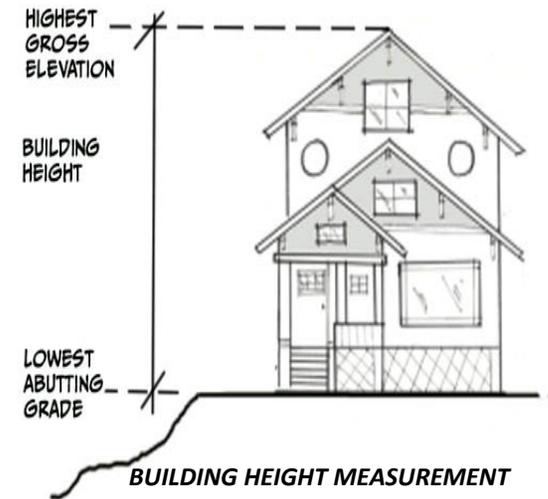
Height shall be measured along a vertical line from the lowest point of the grade abutting the building to a perpendicular line extended from the highest gross elevation of the structure.

In the event that an applicant who is seeking to obtain approval for any increase in the maximum height of a structure may fail to provide sufficient information to allow the Historic District Design Review Board to make the required determinations, the Board, at its discretion, may table the application and require the applicant to provide additional information, in form of graphic design information or other means, which will provide a more complete depiction of the potential impacts of any such projects.

1. Single-Family Structure— The maximum building height for a new single family residential structure shall be twenty-three (23) feet, provided that the Historic Design Review Board has the authority to increase or decrease this height limit by up to six (6) feet if the Board makes a specific finding that any such adjustment is consistent with the public interest in maintaining compati-

ble mass and scale in the District; preserving the public views of the District and surrounding areas; and protecting the public interest in maintaining the compatible characteristics of the particular area, including the protection of access to air and light for adjacent properties.

2. Accessory Structure—The maximum building height of a new, remodeled, or renovated accessory building shall not typically be more than nineteen (19) feet. The Historic District Design Review Board may increase this height for an appropriate accessory use that is subordinate in size and scope to the primary structure, that is compatible in mass and scale with the structure in the immediate area of the District, and that is not inconsistent with the other public interests expressed in paragraph 2 above. In no event shall the height of an accessory structure be greater than twenty-nine (29) feet. The Design Review Board may also require a reduction in the proposed height below nineteen (19) feet, where such adjustment is warranted by the same factors. Any such adjustment, either up or down, shall require a specific finding by the Board explaining the reasons for any such adjustment.



C. Building Setback

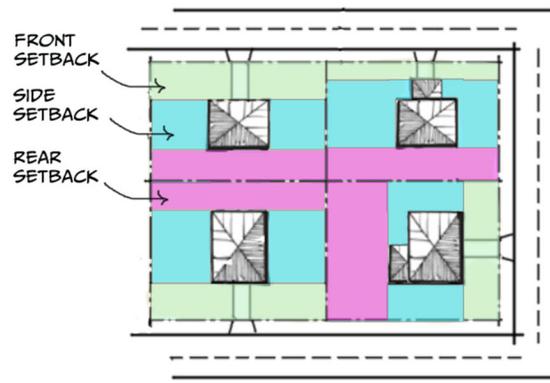
1. Minimum Setback Required—The minimum setbacks for a new single family residential structure or accessory building shall be not less than the following:
 - a. Front setback of not less than ten (10) feet.
 - b. Side setback of not less than five (5) feet.
 - c. Rear setback of not less than ten (10) feet. Accessory structures may be located within three (3) feet of the rear lot line if this will not adversely impact the adjacent property

CHAPTER 3 SINGLE-FAMILY RESIDENTIAL DESIGN GUIDELINES

- d. Setbacks for reconstruction may be determined by previous buildings footprint, in cases of fire and demolition.
2. In those areas in which there are established front, side or rear set backs for the existing developed properties within the same or adjacent blocks that are greater than or less than that are greater than or less than ten (10) feet, the Historic District Design Review Board may increase or decrease the front or rear set back for new structures as necessary to maintain the uniform characteristics of that particular street frontage.

- a. Renovations, repairs and additions to existing single family residential structures and accessory structures shall not reduce the existing setbacks to less than what is required for new residential structures or to less than what currently exists, whichever is the lesser distance, unless the Design Review Board makes a specific finding that this construction will be consistent with the uniform characteristics, if any, of the adjacent properties and that any such reduction will not adversely impact adjacent properties.

- b. Fire setbacks and Fire Separation requirements in the International Building Codes Prevail.



BUILDING SETBACKS

D. Building Size

The maximum area within the exterior perimeter (the building footprint) of a new single family residential structure within the District shall be two thousand (2,000) square feet.

E. Lot Size and Lot Adjustments

1. The minimum lot size for any lawfully authorized and newly created building site, resulting from a split of another existing lot or parcel, within the District shall be not less than four thousand (4,000) square feet.
2. Within the District, the legal descriptions, siz-

es and shapes of existing, adjacent lots may be adjusted, re-described or corrected by sales or exchanges between the property owners without further approval provided that there is no net increase in the number of residential or commercial lots within the District.

F. Non-Permitted Housing Types

1. Mobile homes shall not be permitted within the boundaries of the Bisbee Historic District.
2. Manufactured homes and modular buildings shall not be permitted within the Bisbee Historic District except upon a Historic Design Board determination that the proposed structure is consistent with these and with any development guidelines applicable for the historic district.

LANDSCAPE FEATURES

A. Walls and Fences

1. **General Requirements**—Fences, walls, or other physical features used to enclose open space or provide privacy shall be compatible with the architectural style of the subject property and compatible with other historic structures within the Historic District and reflect the historic period of the district.

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- a. Courtyard walls that are attached to historic buildings shall be considered part of the historic building and require approval.
- b. Fences and gates are an extension of the architecture of the house. The material and style should be compatible with the house and the fence should be proportionate to the house. Additions, such as fences, should be compatible with the size, scale, material and character of the property, neighborhood or environment.
- c. The following rehabilitation guidelines apply to walls and fences:
 - New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, scale, and architectural features to protect the historic integrity of the property and its environment.
 - New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in

the future, the essential form and integrity of the historic property and its environment would be unimpaired.

- Regarding the design qualities of front yard walls/ fences, such construction shall meet the Secretary of Interior's Standards for Rehabilitation.

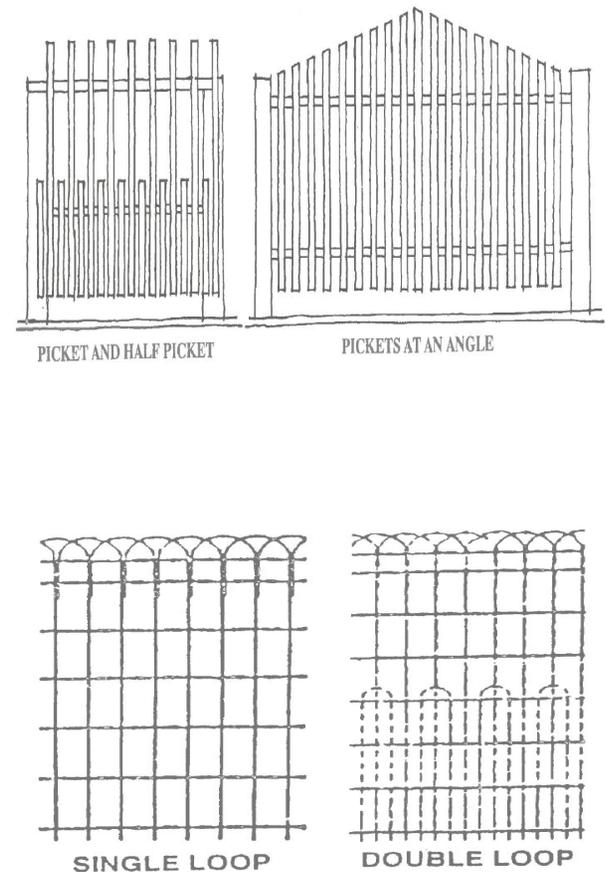
2. **Fences Design Requirements**—There is scarcely a home or building lot in Old Bisbee that does not have some kind of fence surrounding it. The design or style of such residential fences can add or detract from the aesthetics of any new construction or remodel project. Some fencing styles that are strongly recommended include the following: decorative wire fencing, usually with rounded tops. Several types of woven wire may also be used. Picket fences of various designs (see illustrations). Wrought iron fences will be approved if they are fabricated in the old style and are not contemporary or Spanish in design. Solid board fences can be used but are not encouraged for the front yard of a home.

Fences that are not acceptable are; brightly colored plastic fences, decorative concrete block, cyclone or "chain link" fencing. The Historic District Design Review Board is receptive to artistic expression and found object fencing in lieu of

standard fences.

Cyclone or chain link fencing will not be approved for the front or side yards of a home but may be approved for the back yard in some cases. A sample sketch, catalogue cuttings or photograph must be submitted with a application.

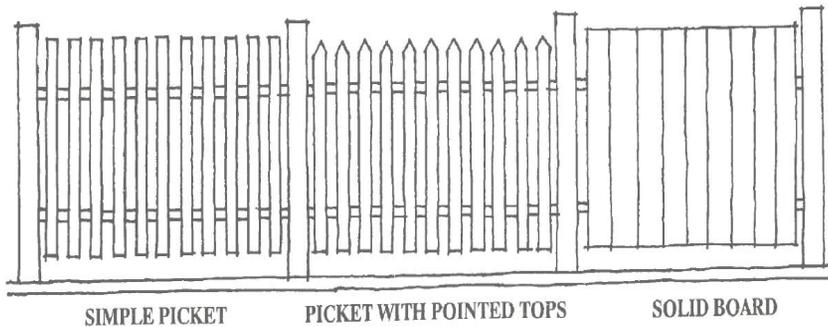
ACCEPTABLE FENCE TYPE EXAMPLES



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ACCEPTABLE FENCE TYPE EXAMPLES



3. **Wall Designs Requirements**—A great part of Old Bisbee’s charm and appeal is provided by the profusion of the different types of residential walls and retaining walls. Walls may be built of gabion baskets with native stone, with or without mortar, poured concrete, or concrete block veneered with native stone or brick. Concrete masonry unit concrete block may also be stuccoed in a neutral color in some cases. Do not leave concrete block un-veneered. Fences and walls are of special importance to our historic preservation efforts in Bisbee.

ARCHITECTURAL FEATURES

A. Garage Doors

1. In General - Garage doors are defining elements in the façades of historic buildings, whether there is one single large door or a series of doors creating a rhythm across a building elevation. Inappropriate replacement of these doors detracts from the historic character of the entire building.

Retaining the historic garage doors is always preferable. However, during rehabilitation or adaptive projects, new replacement doors may be necessary as their functional use changes, e.g. from vehicular to pedestrian access. The design of replacement doors shall:

- a. Maintain the character of the historic buildings as well as match in size that which they replace.
- b. In the case where historic doors have already been replaced with inappropriate infill, any new treatments shall be compatible with the historic character of the building.

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2. Historic buildings with a single garage door opening:
 - a. Preserve the existing door, recreating a new unit based on historic photographs, or
 - b. Incorporate new compatible contemporary garage doors that preserve the original character of the building.
3. Historic buildings with multiple door openings:
 - a. Preserve the existing door, recreating a new unit based on historic photographs, or
 - b. Incorporate new compatible contemporary garage doors treatments that preserve the original character of the building while providing the openness sought.
4. Adding Vehicular Entrances and Garage Doors to Historic Buildings.

Rehabilitating historic buildings sometimes requires using part of the interior for parking. Such an alteration can have a major impact on a building that was never intended for such use. It can also result in loss of historic fabric if it requires

cutting an opening for a garage door. For most historic buildings, this is not a compatible rehabilitation treatment.

Historic buildings in which it may be possible to convert a portion of the interior for parking without negatively impacting their historic character modifying an interior space for parking that has not been used for parking previously shall conform to the following:

- a. Evaluate the character and condition of the interior space. Only some industrial or commercial spaces or previously altered spaces which are basically devoid of character-defining features and finishes may be suitable to adapt for parking.
- b. If the historic building interior meets these criteria provided in (a.), evaluate the exterior to determine if a garage door can be added without a significant loss of historic building material and without adversely impacting the character of the exterior.
- c. A garage door may be added only on a secondary elevation, provided that the design for the garage door reflects the

historic period and architectural style of the historic building and is compatible with the character of the historic building.



GARAGE DOOR EXAMPLE

CHAPTER 3 SINGLE-FAMILY RESIDENTIAL DESIGN GUIDELINES

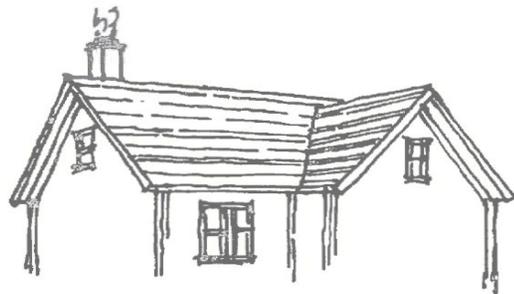
B. Roofs

1. Style - There are basically three roof styles that are seen throughout the Bisbee Historic District. They are the gable roof, the hip roof, and the shed roof. These styles, and some of their combinations, can be seen in the following illustrations.

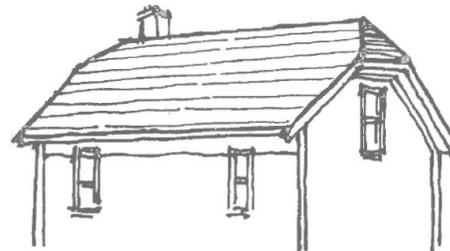


DESIRABLE HIP ROOF EXAMPLE

should be avoided. Because roof slopes were comparatively steep the space underneath the roof was often utilized as an attic. In order to admit light to this attic space, dormers were added, which were not only functional but added interest to the roof shapes. Some roof shapes are less desirable within the Historic District and may be inappropriate depending on the location and general context of the structure. This includes the Gambrel, the Mansard and the A-Frame or “Ski Chalet.”



DESIRABLE GABLE AND INTERSECTING GABLE EXAMPLE



DESIRABLE GABLE ROOF WITH TIP SLICED OFF EXAMPLE



DESIRABLE GABLE ROOF WITH DORMERS

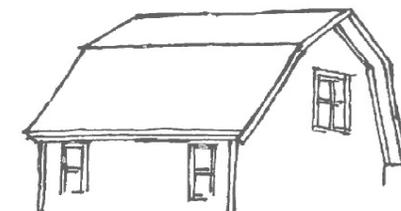


DESIRABLE GABLE AND HIP ROOF EXAMPLE



DESIRABLE SHED ROOF (USUALLY AN ADD ON)

The “steepness of slope of these roof styles is usually much greater than the styles more common today. Shallow or low roof slopes



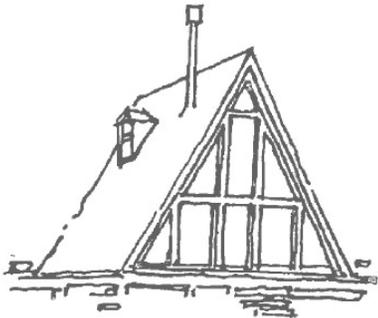
LESS DESIRABLE GAMBREL ROOF

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LESS DESIRABLE MANSARD ROOF



LESS DESIRABLE A-FRAME ROOF

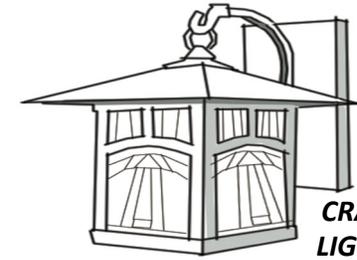
2. Cover Material— Residential roofs may be covered in a variety of materials. These include: real wood shingles, three tab fiberglass shingles, corrugated and standing seam metal roofs.

C. Outdoor Lighting

1. If original lighting fixtures are present, these should be preserved and repaired.
2. If original fixtures are not present, period

lighting may be installed with special attention paid to choosing fixtures that are appropriate to be historical period of the building as well as the style and scale of the building and the element to which it is attached.

3. New fixtures should be attached in a manner that avoids damage to historic materials.
4. Lighting should be shielded to help preserve the City's dark skies and not adversely affect neighboring buildings, pedestrians, or automobile traffic.
5. The aesthetics of outdoor lighting fixtures is a consideration in the Historic District, especially in the area of commercial remodel and new construction. When the time comes to select lighting fixtures, the collection of photographs in the Mining and Historical Museum will lend assistance in the selection of the lamps that will be authentic style. There are lighting catalogs available that illustrate older fixtures that are still manufactured today.
6. Article 7.10 of the Bisbee City Code "Light Pollution Code" regulates outdoor lighting.



CRAFTSMAN STYLE LIGHTING EXAMPLE

D. Windows

Windows in older homes are predominately vertical, narrow and single or double hung. These are installed with or without transom windows and have wide trim boards, approximately five inches in width.

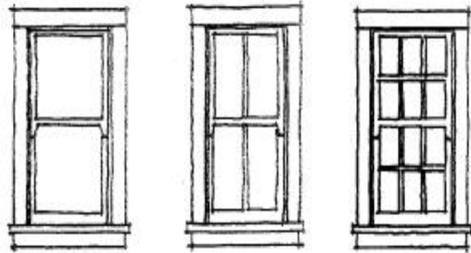
There is room for variation in the way that the window panes are divided. Aluminum double hung windows may be used in place of wood provided that the aluminum is anodized or painted (no bare aluminum showing) and the correct sill and trim detail is used. Flat pane roof skylights (no bubble domes) will be allowed in some cases.

Permitted Window Styles in the Bisbee Historic District: Double hung, paired double hung with or without transom, Double Hung with variation and wooden Casemented with Wide Divider between. **Windows should be narrow and tall; if that follows the original designs of the building.**

CHAPTER 3 SINGLE-FAMILY RESIDENTIAL DESIGN GUIDELINES

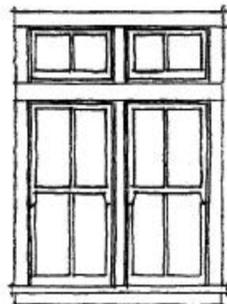
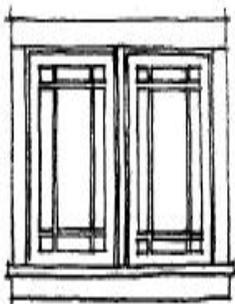
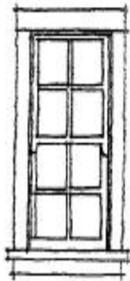
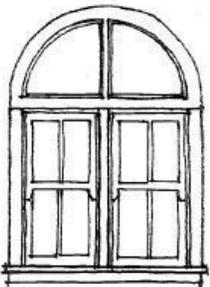
Single-hung: A window whose bottom sash slides along vertical tracks.

Vinyl windows will be reviewed on a case per case approval by the Design Review Board.



ACCEPTABLE WINDOW

EXAMPLES



Awning windows have a single sash that is hinged at the top. The sash swings opens from the bottom, creating an awning effect. Because they are typically smaller in size, these windows can be installed higher up on the wall than many types of windows. While there is a general preference for vertical slide windows, the Design Review Board may grant approval for historically-sensitive awning windows in certain circumstances.



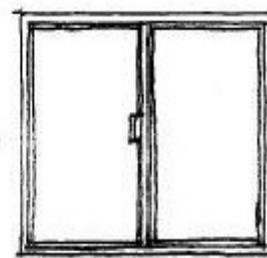
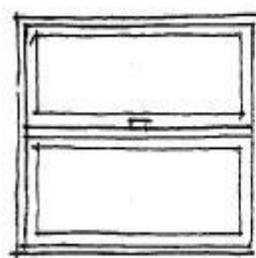
AWNING WINDOW—REQUIRES DRB

Also, undesirable are grill windows: Refers to the vertical/horizontal inner pieces that are simulated between glass panes that are strips of aluminum or plastic.

E. Doors

The majority of historic exterior doors in the Bisbee historic District are paneled doors with several variations. Door trim is wide like the window trim, about five inches in width. In renovation projects, panel doors should be favored over flush doors. The construction of a panel door consists of vertical lengths of wood called stiles, and horizontal lengths of wood called rails. The perpendicular junctions of the stiles and rails are where the panels of the doors come to exist, and the number of stiles and rails within the construction of the door will determine how many panels there can be.

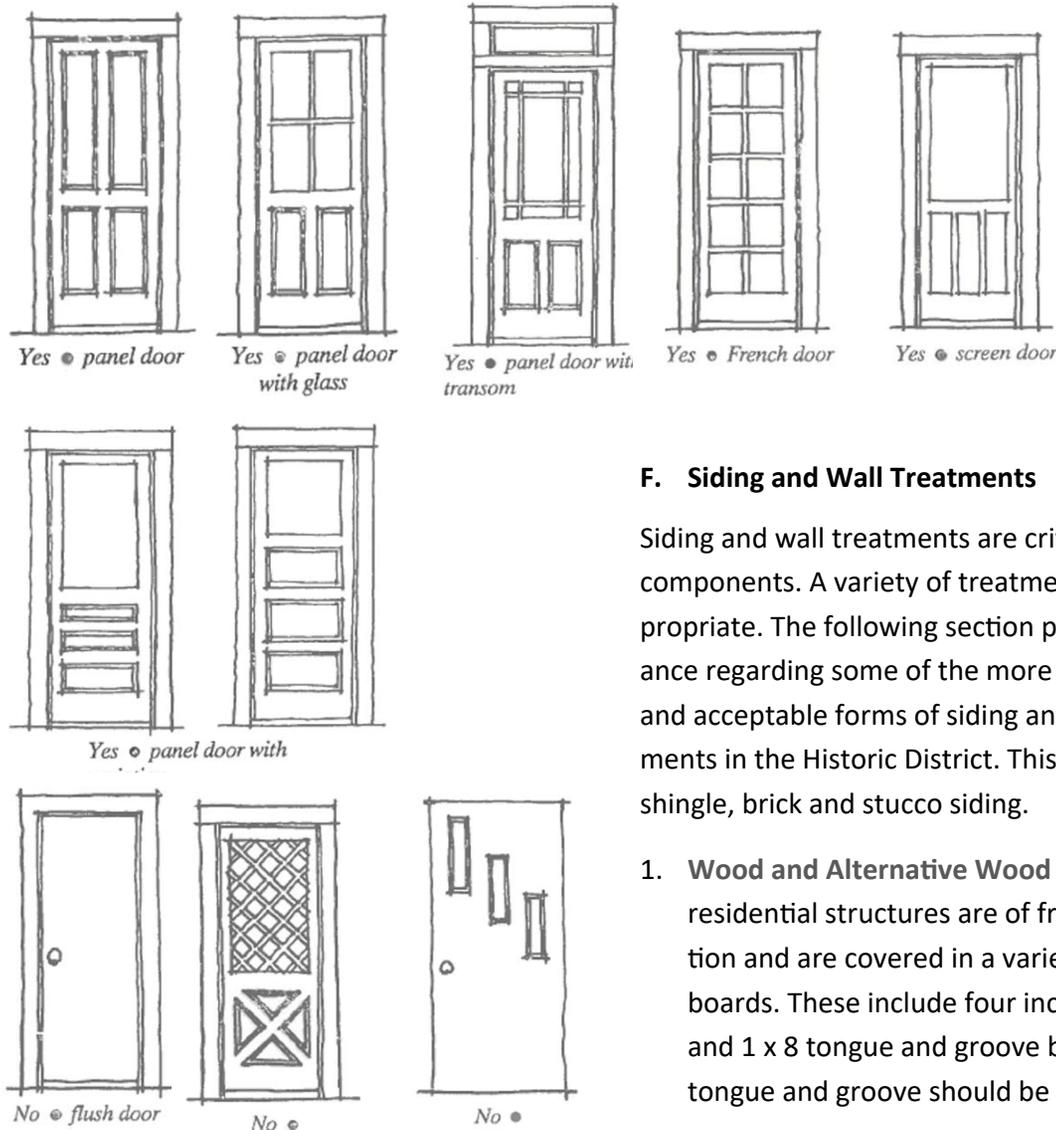
A flush door, on the other hand, is much simpler in its construction. Crafted from a singular piece of wood, flush doors are typically entirely flat on both sides. Flush doors shall be discouraged unless they are finished to resemble the following featured paneled doors with carving or embellishing.



UNDESIRABLE SLIDER WINDOWS

CHAPTER 3 SINGLE-FAMILY RESIDENTIAL DESIGN GUIDELINES

Below are sketches that indicate the general trend of acceptable door styles in the Bisbee Historical District.



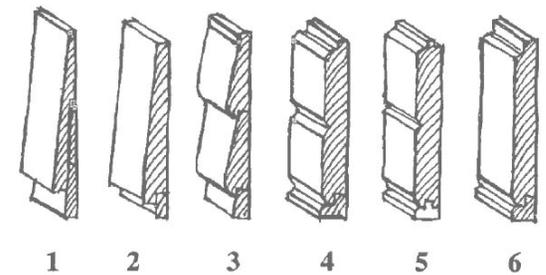
F. Siding and Wall Treatments

Siding and wall treatments are critical design components. A variety of treatments may be appropriate. The following section provides guidance regarding some of the more commonly used and acceptable forms of siding and wall treatments in the Historic District. This includes wood, shingle, brick and stucco siding.

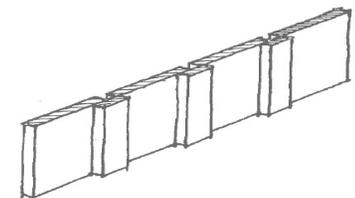
- Wood and Alternative Wood Siding:** Most residential structures are of frame construction and are covered in a variety of horizontal boards. These include four inch shiplap, 1 x 6 and 1 x 8 tongue and groove boards. The tongue and groove should be a "V" groove

rather than a flat butt tongue and groove. Also appropriate would be 1 x 12 boards. All 1 x 3 or 1 x 4 battens will be applied at twelve inches on center.

Cross sections of various horizontal siding boards including three or four inch shiplap and different types of tongue and groove boards with and without a "V" groove are included below.



Examples 1 and 2 illustrate a tapered horizontal lap siding. Number 3 is a rounded three inch or four inch horizontal shiplap. Number 4 is called V rustic shiplap. Number 5 is V rustic tongue and groove. Number 6 is V rustic ship lap. An example of 1 x 12 boards with 1 x 3 or 1 x 4 battens is also included below.



CHAPTER 3 SINGLE-FAMILY RESIDENTIAL DESIGN GUIDELINES

Another alternative to real boards and battens is 5/8" exterior plywood, which may be used with 3" battens spaced 12" on center. Bare plywood without batten siding or flagstone wainscots will not be accepted. An alternative to the use of real wood could be the various hardboard siding products, provided the siding is to receive paint. Fiber cement siding and engineered wood siding, such as Smartside or TruWood, which are intended to imitate natural wood, may also be acceptable. Simulated boards should be smooth (no embossed wood grain). All material should be applied in a historic and authentic manner, as illustrated in the examples below.

Generally discouraged wood siding includes diagonal siding, vertical groove plywood, and very wide horizontal siding (1x12). The use of window trim in conjunction with the wood siding is highly desirable.

This following graphics provide examples of undesirable wood siding treatments.



No • Very wide horizontal siding. (1x12) No window trim.

2. **Shingle siding:** Shingle siding can be used alone or in conjunction with horizontal wood siding. Asbestos shingles shall not be allowed. Some examples of desirable uses and patterns of shingle siding are illustrated in the following graphics.



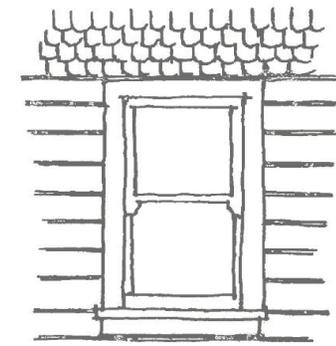
Yes • 1x4, 1x6, 1x8 horizontal siding with correct width trim.



No • Diagonal Siding.

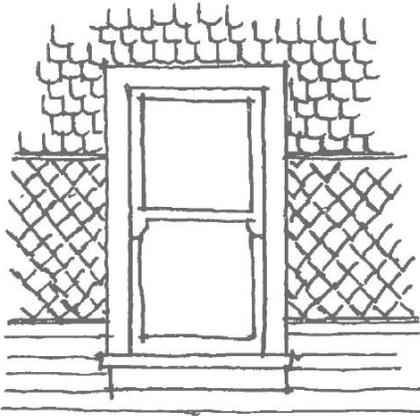


No • Vertical groove plywood.

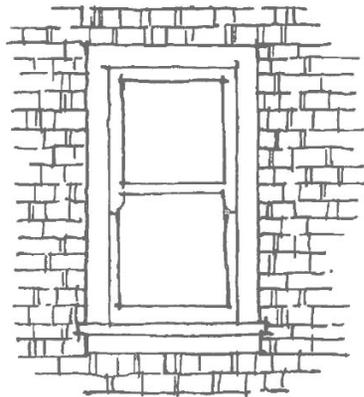


Fish scale shingles with horizontal siding

CHAPTER 3 SINGLE-FAMILY RESIDENTIAL DESIGN GUIDELINES



Fish scale and diamond shingles



Flat butt shingles with 5" or 6" exposure

study in the Bisbee Historic District. Our ancestors were inventive in the design of brick work and a subtle pattern change can add much to the overall effect of new construction. Of course if the project is a remodel and brick work is involved, then the old brick pattern should be respected and the remodeled parts matched to it. Commercial simulated "used brick" is unacceptable as a replacement material when trying to match old brick work.



BRICK RESIDENTIAL SIDING EXAMPLE

- Brick Siding:** Adobe bricks, fired red bricks and shingles in a variety of patterns may be used. There are many successful examples of the use of brick siding currently in Bisbee. There are many varieties of brick patterns to



Yes • Match original brick on remodels, also use brick for new construction.



No • Fake stone or brick.

CHAPTER 3 SINGLE-FAMILY RESIDENTIAL DESIGN GUIDELINES

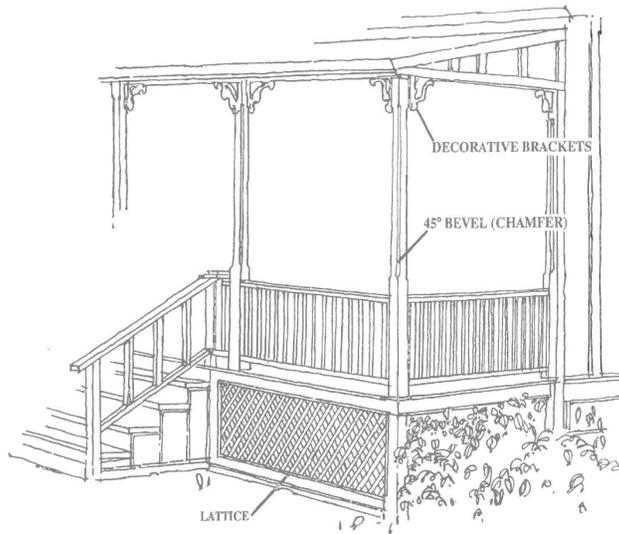
4. **Stucco Siding:** In some cases, stucco siding can be an acceptable option for renovations and new construction. In cases of renovation and maintenance, the finish should match the existing house treatment. Stucco is not appropriate to cover existing wood siding.



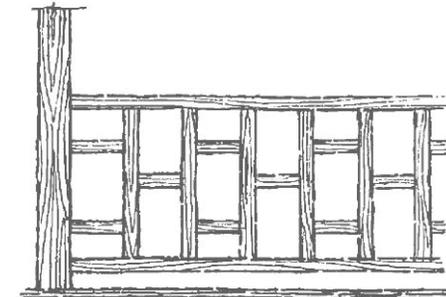
Yes • Sand finish stucco to match existing house on renovations. Also for new construction in some cases.

posts with chamfered edges and decorative brackets under the beam is included below. Also included in the illustration is a simple porch railing with top and bottom rail and 2" x 2" vertical members (balusters.)

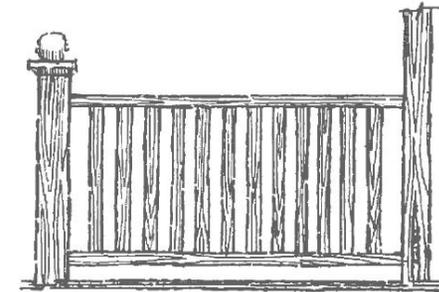
The exposed posts on old buildings nearly always had a detail called a chamfer. This is simply putting a 45 degree bevel on the corner of each post. A router does the work easily today.



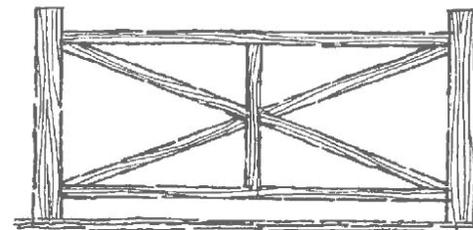
Acceptable porch/deck railings include the following types:



YES • WHEN NO HIGHER THAN 30" OFF THE GROUND LEVEL



YES • WHEN NO HIGHER THAN 30" OFF THE GROUND LEVEL

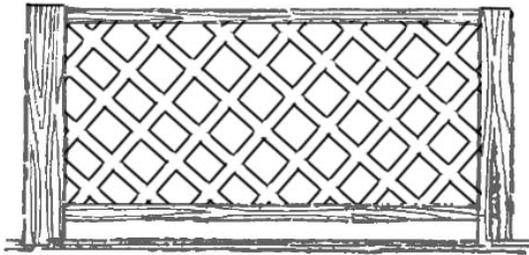


NO

G. Porches, Decks and Railings

In the past, no home was complete without the front porch and one should be included whenever possible in new residential design. A sketch of a typical porch with lattice work underneath to hide the foundation and an example of porch

CHAPTER 3 SINGLE-FAMILY RESIDENTIAL DESIGN GUIDELINES

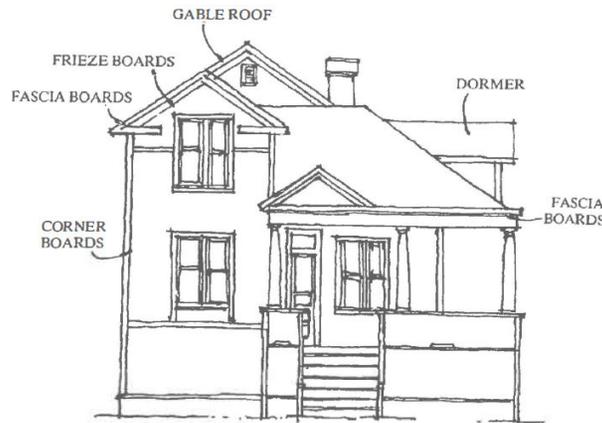


NO•

Other similarly decorative styles or designs may be appropriate. However, lattice porch railings not acceptable.

H. Fascia Boards, Frieze Boards and Corner Boards

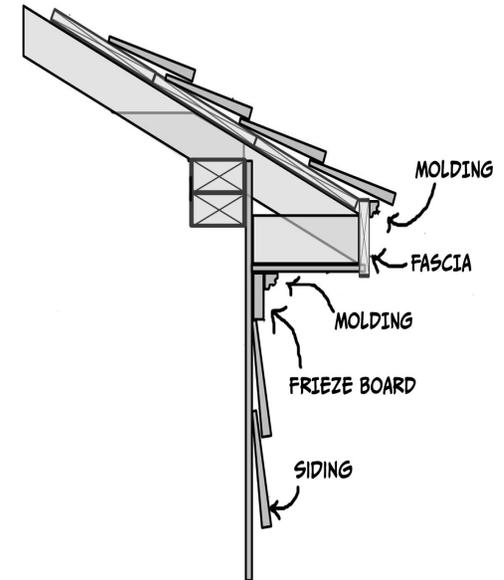
Although the theme or idea of the vertical elements found in older style houses ought to predominate in the designer's thinking, it should be noted that the architecture of Bisbee is too diverse to make any iron clad rules. There are square and, in some cases, horizontal facades which contain vertical elements such as tall narrow windows, steep roof slopes, porch columns, etc.



The design of any new residential buildings will be successful if the material is used in a thoughtful way and is combined with good proportions. Study of existing structures within the historic district will be of great help in determining good style and proportions.

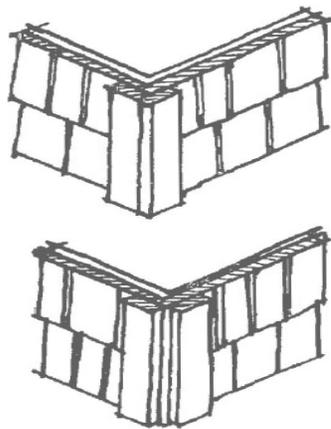
1. **Frieze Boards**—Frieze boards are not in vogue today, but were very common in older construction. This detail is a wide (1 x 10 or 1 x 12) board nailed on top of the siding material underneath the eave at the gable end of the house.
2. **Fascia boards**—Fascia boards were quite plain in the Bisbee District compared with the elaborate cut out details found on High Victo-

rian style homes. Some ornamentation, such as brackets under the eaves, is also historically correct.



3. **Corner Boards**—Historically correct residential design should include the application of wide (about 5") corner boards. These are placed vertically at the corners of the house over the horizontal siding or shingles. Corner boards may also be installed first and then the siding material butted into them.

CHAPTER 3 SINGLE-FAMILY RESIDENTIAL DESIGN GUIDELINES



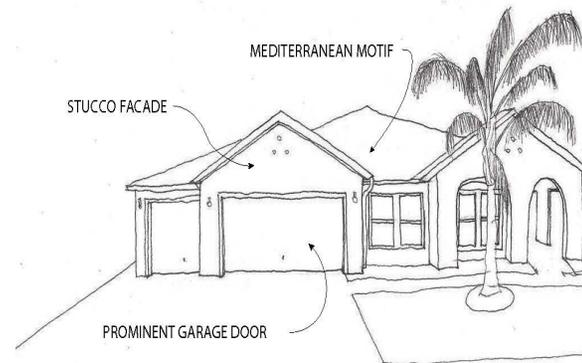
CORNER BOARD EXAMPLES

I. Accessory Structures

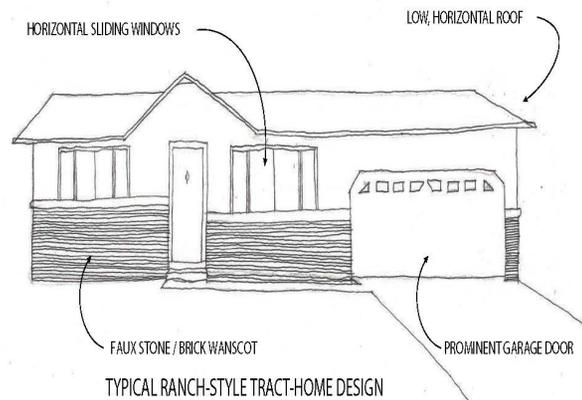
- 1. Outbuildings**—Garages and outbuildings should be designed as thoughtfully as a residence or commercial building. All of the development guidelines included in the development guidelines section and all the considerations mentioned pertaining to commercial or residential structures will apply to these secondary structures.
- 2. Pre-fab Storage Sheds**—Pre-manufactured storage sheds or any enclosure that is not originally intended as a building must be screened from public

view with elements that are compatible with the style of the primary building or structure.

J. Undesirable Architectural Designs



TYPICAL CONTEMPORARY TRACT-HOME DESIGN



TYPICAL RANCH-STYLE TRACT-HOME DESIGN

VISIBLE FEATURES

A. Solar Energy Devices

Applications for permits to install solar devices within the Bisbee Historic District, which are proposed to be installed in a manner that is consistent with those Design Principles stated below, which can be reasonably met under the particular circumstances, as determined by the Building Official, shall be subject to compliance with all applicable building and safety codes, and shall not require any additional form of public review. The following Design Principles are intended to minimize the adverse impact of any such development on the special characteristics that are to be protected by the creation of the Historic District.

- 1.** Located the solar devices in an inconspicuous location. Can the solar device be located in a rear or side yard, low to the ground, in a manner that limits their visibility, but with due respect to any historic landscape features?
- 2.** Locate the solar devices on new construction. Are the areas of new construction or additions where the solar devices could be located, in order to maintain compatibility with the historic building and protect it from alteration?
- 3.** Locate the solar device in an area that minimizes its visibility from the public streets and roads, Can the solar devices be placed on locations other than street-facing walls and

CHAPTER 3

SINGLE-FAMILY RESIDENTIAL DESIGN GUIDELINES

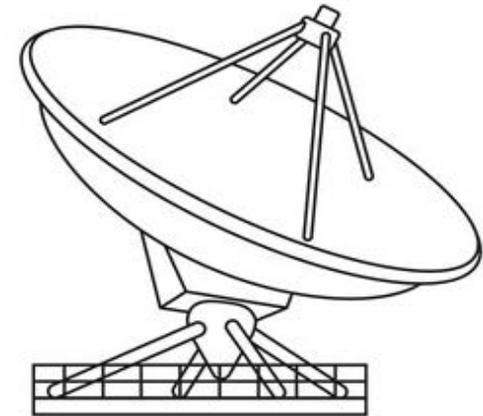
and roof, or below and behind parapet walls and dormers?

4. Avoid installations that would result in the permanent loss of significant character-defining features of historic structures. Can the solar devices be installed without altering existing roof lines or obstructing the views of significant architectural features?
5. Avoid installations that result in the removal or permanent alteration of significant architectural features. Can the solar devices be installed in a manner that is reversible, and that will not result in the permanent alteration of intact historic materials and features?
6. Require low profiles. Can the solar devices be mounted flush with, or no higher than a few inches above, the existing roof surface, so that they are not visible above the roof line of the primary façade?
7. On flat roofs, set the solar device back from the edge. Can the solar devices be set back from the roof edge, and adjusted so that they are not visible from below?
8. Avoid disjointed or multi-roof installations. Can the solar devices be installed at angles that are consistent with the slope and pitch of the supporting roof and on one roof plane, in a manner that matches the general shape and configuration of the roof upon which they are mounted?

9. Ensure that the solar device, support structures, and conduits blend into the surrounding features of the supporting structure. Can the visibility of the solar devices be reduced by matching them in color and texture to the surrounding historic building?
10. Do not exceed a height of more than six (6) feet above the roof surface, measured from the mounting location; or, if the device is not mounted on a roof, have a cumulative foot print or total surface collection area in excess of six hundred (600) square feet or a maximum height more than ten (10) feet above the existing grade.

B. Satellite Dishes

The ordinances, as they apply to historic preservation, recognize that although it is desirable to preserve and enhance the Bisbee Historic District, we are still living in modern times. To that end satellite dishes will be placed out of sight or effectively screened from view by trees, shrubs or fences.



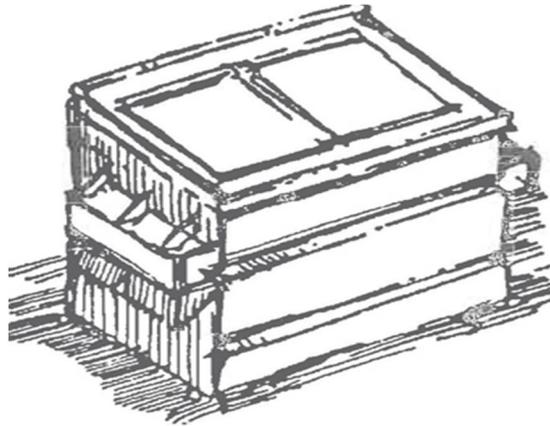
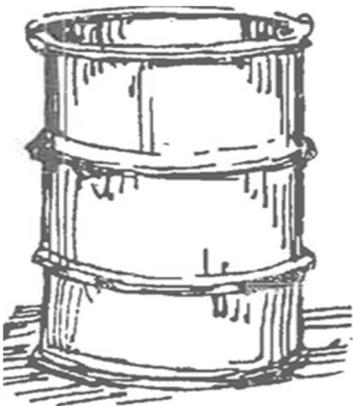
CHAPTER 3

SINGLE-FAMILY RESIDENTIAL DESIGN GUIDELINES

C. Trash Barrels and Dumpsters

Trash barrels are, of course, a necessity around commercial structures. Both wooden and iron barrels are acceptable. Not acceptable would be the concrete, modern metal or plastic receptacles in use at shopping malls, etc.

Barrels and dumpsters should be out of sight whenever possible.



D. Water Harvesting Equipment

The City of Bisbee is located in a semi-arid region, near the boundaries of the Chihuahua and Sonora Deserts. This is an area of limited available water resources which periodically experiences long-term droughts. Significant portions of the City of Bisbee are within the Upper San Pedro Watershed and the City derives its domestic water from this area. The City of Bisbee recognizes that the continuing use of the limited water resources within this area will have an impact upon both the groundwater and surface water resources of this area, and in particular upon the viability of the San Pedro River. The City and its citizens further recognize that they have an obligation to use and to manage these water resources wisely and in a manner that will sustain these resources for

future generations. Prudent use of the available water resources is necessary to protect the health, safety and well-being of this community and to avoid potential conflicts with applicable federal law.

The City of Bisbee Zoning Code includes the City Water Conservation program. The Water Conservation Program is intended to apply on a multi-faceted basis to fulfill these purposes. It includes elements that are intended to limit the impacts of new and additional water uses in this area in a reasonable manner, to apply appropriate regulations that will improve the efficiency of new and remodeled facilities and to encourage the citizens of Bisbee to engage in conservation practices.



EXAMPLE OF NON-INTRUSIVE UNDERGROUND CISTERN

Historically, water conservation was a part of daily life. Cisterns collected rainwater and water was reused. Modern greywater recycling systems evolved from traditional water conservation methods.

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In addition to complying with all applicable requirements provided in the Water Conservation Program of the City of Bisbee Zoning Code, water harvesting methods, techniques and features within the Historic District shall comply with the following guidelines.

1. Water harvesting shall not significantly alter or conceal any building or structure's historic features, materials, design elements and/or the character of the Historic District.
2. Efficient irrigation systems utilized to conserve water or to recycle greywater or rainwater shall not conceal or alter any building or structure's features, materials, design elements and/or the character of the Historic District.

E. Placement of cables and wires

Cables and wires should be placed underground whenever possible. If this is not an option, they should be placed on side or rear elevations.



**EXAMPLE OF STREETScape WITH
WATER HARVESTING**

CHAPTER 4

MULTI-FAMILY & NON-RESIDENTIAL DESIGN GUIDELINES

COMMON APPROACH

Commercial buildings in Old Bisbee have different preservation needs and aesthetic characteristics than do residential structures in the historic district. Most commercial buildings are constructed of some type of masonry material such as brick, ornamental concrete block or stone. In addition there may be a marble wainscot or some ornamental tile work on the façade or a decorative tile mosaic under foot at the entrance.

Stone fronts usually have a large amount of glass which may include a transom and/or a clerestory window. Other architectural features which deserve attention are decorative moldings (either wood or

masonry), cornices, eaves, trim of all kinds, signs and any special detail that makes that building unique.

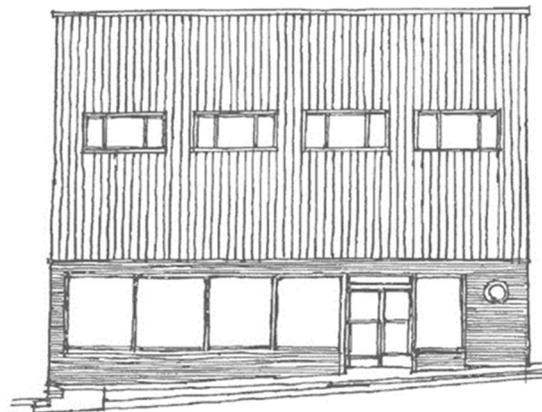
In many instances the façade of a commercial building has been altered in some manner that may detract from the original design. Often a structure has been substantially changed in its recent past in an attempt to “modernize” the exterior. Some examples might be: a whole façade covered with aluminum siding or some type of wood which has no historical relation to the original appearance of the building or to its neighbors: original double hung windows replace the horizontal aluminum sliding windows’ transom and clerestory windows painted over, blocked with wood or completely removed; decorative wood or masonry details remodeled or covered.

See illustration showing an example of negative design where the original façade was not respected.

The most desirable situation is the restoration of a historic façade to as close to the original as possible.



POSITIVE COMMERCIAL FACADE



NEGATIVE COMMERCIAL FACADE

A. Common Building Design Elements

Although Bisbee’s old commercial buildings do not all look alike, they have common characteristics, which will guide the designer on their approach to new work.

1. Materials/Elements

- a. Brick, stone, ornamental concrete block, stucco, and some horizontal boards over framing.
- b. Marble work on wainscots. Tile on wainscots and mosaic tile on floors of entry ways.
- c. Decorative brickwork used in horizontal bands to distinguish one story of the building from the next.
- d. Decorative cornices of masonry sheet metal or wood.
- e. Cast or carved ornamental scrollwork attached to the building façade, typically referred to as a cartouche.
- f. Transom and clerestory windows.
- g. Windows, predominately double hung or double with transoms.

CHAPTER 4

MULTI-FAMILY & NON-RESIDENTIAL DESIGN GUIDELINES

- h. Wood trim in color and harmony with the design.
- i. Properly designed and placed signage.
- j. Because Old Bisbee is situated in a way that permits us to look down on a good portion of the town, roofing materials and the arrangement of pipes, heating and cooling machinery, skylights, and dormers also assume importance in the rehabilitation of structures or the design of new buildings.

2. Proportion

Generally speaking, old buildings were taller than they were wide and are said to have a vertical emphasis. The height of new construction will be governed by city codes and the height of existing buildings adjacent to the location of the new building. Windows are usually tall and narrow, showing vertical emphasis and nearly always double hung. The double hung window is sometimes installed in pairs, which creates a squarer opening while still using vertical elements.

GENERAL GUIDELINES

A. General Guidelines

1. New construction should reflect a contemporary style while harmonizing with the character of historic properties. New construction shall not replicate an architectural style from

a previous period.

2. New construction design shall be compatible with volume, mass, scale, color, material, and textures of the Bisbee Historic District.
3. New construction must ensure compatibility with other character-defining features of historic buildings in that neighborhood through careful attention to the following aspects of a building:
 - a. Orientation and site location;
 - b. Scale, proportion, and building mass;
 - c. Building coverage/square footage (including covered porches);
 - d. Roof shape/roof slopes;
 - e. Porches and balconies;
 - f. Rhythm of window and door openings;
 - g. Materials, decorative finish details;
 - h. Foundation type; and
 - i. Garage locations, if detached.

B. Building Height

The building height shall be measured along a vertical line from the lowest point of the grade

abutting the building to a perpendicular line extended from the highest gross elevation of the structure.

In the event that an applicant who is seeking to obtain approval for any increase in the maximum height of a structure may fail to provide sufficient information to allow the Design Review Board to make the required determinations, the Board, at its discretion, may table the application and require the applicant to provide additional information, in form of graphic design information or other means, which will provide a more complete depiction of the potential impacts of any such projects.

The maximum building height and size for a new or renovated commercial structure or multiple family residential structure shall be determined by the Design Review Board, based upon the heights and sizes of the surrounding properties and the public interest in maintaining compatible mass and scale within this District; the public interest in maintaining the public views of the District and surrounding mountainsides that could be impacted by a particular structure; and the public's overall interest in maintaining the compatible characteristics of the commercial areas within the District.

CHAPTER 4

MULTI-FAMILY & NON-RESIDENTIAL DESIGN GUIDELINES

C. Lot Size and Lot Adjustments

1. Within the District, the legal descriptions, sizes and shapes of existing, adjacent lots may be adjusted, re-described or corrected by sales or exchanges between the property owners without further approval provided that there is no net increase in the number of residential or commercial lots within the District.
2. The minimum lot size for any lawfully authorized and newly created building site, resulting from a split of another existing lot or parcel, within the District shall be not less than four thousand (4000) square feet.

PUBLIC ART

A. Public Art

Public art, murals and monuments within the Historic District shall require an Application For Public Art and Monuments and shall conform to the following guidelines:

1. Historic character of the District should be retained and preserved.
2. Distinctive features of historic buildings shall be retained and preserved.
3. Deteriorated historic features shall be re-

paired rather than replaced.

4. Treatments that can cause damage to historic features of a building or that do not reflect the historic character of the neighborhoods in which they are located shall be avoided.
5. Significantly altering the character of historic buildings with art is strictly prohibited within the Historic District.



**EXAMPLE OF PUBLIC ART IN
DOWNTOWN BISBEE**

6. Existing historic buildings including art that significantly alters, conceals any building or structure's historic features, materials, design elements and/or the character of the Historic District are declared non-conforming. Any future alteration and/or modification of the building use or exterior shall conform to all applicable guidelines and codes, and shall re-

quire that any art form that conceals and/or significantly alters the character of such building be removed prior to Resign Review Board approval and prior to the application for any building permit.

B. Murals

1. **Purpose**—City of Bisbee's Design and Review Board to adopt guidelines for murals on commercial properties within the historic district. These guidelines for murals in the historic district were formulated as a means of ensuring the continued visual aesthetic of the historic district while allowing for creative expression in appropriate locations and designs. The established review criteria provide guidance concerning the compatibility and appropriateness of the placement, massing, scale and materials of mural art with minimal intrusion into the artistic expression and content of the work. Murals and other similar forms of visual art can both add or detract from the character of a building, structure, or district based upon their location, size, shape, color palette, materials used, and relationship to historic context.

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MULTI-FAMILY & NON-RESIDENTIAL DESIGN GUIDELINES

- Review Criteria** —When a building owner is considering adding a Mural to their building or wall an application must be made to the Design and Review Board for consideration. When the building or wall is public property of the City of Bisbee the application process will follow the city’s Art and Monuments in Public Space Application and Instructions.
- Mural Art vs. Signage** —Content distinguishes mural art from signage. While a sign specifically advertises a business, product or service through graphics or text, murals are solely artistic in nature. Murals may not include trademarks, service marks, or other markings, colors, or patterns identifying or associated with a business, profession, trade, occupation, or entity. When an official interpretation is deemed necessary, Bisbee’s Community Development Department will determine if a proposal is a mural or a sign. Mural art that constitutes a sign shall conform to the signage regulations of the zoning ordinance and applicable design guidelines.

4. Guidelines:

Location

- Murals are not permitted on unpainted con-

tributing or landmark structures.

Murals on unpainted non-contributing buildings or walls will be considered on a case-by-case basis.

- Paint or mount all murals or other similar forms of visual art on the side or rear walls of the building, and not on its primary façade, above its roof line, or on any of its decorative elements.
- The installation of a mural should complement and enhance the building or wall and be incorporated architecturally into the character of the historic district.
- The location of a mural on the building should not cover or detract from significant or character-defining architectural features.
- The location, size, nature, or type or mural shall not create a hazard to the safe and efficient operation of vehicles, or create a condition that endangers the safety of persons or property thereon. Murals may not extend beyond the eaves, parapet, or sides of a building.
- The location, size, nature, or type or mural shall not create a hazard to the safe and effi-

cient operation of vehicles, or create a condition that endangers the safety of persons or property thereon. Murals may not extend beyond the eaves, parapet, or sides of a building.

- If a mural is allowed to be mounted onto the building it must be done to prevent damage from moisture/ condensation behind the attached panel. Generally, the hanging and/or anchoring of a mural should be reversible.

Design & Materials

- The murals shall not obscure key features of the building or wall.
- Paint utilized should be intended for exterior use and which will not compromise the integrity of the material to which it is applied. Reflective neon and fluorescent paint should not be used.
- The application of murals on historic material should follow all relevant Presentation Briefs as published by the National Park Service’s; “The Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings Technical Preservation Services.”

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MULTI-FAMILY & NON-RESIDENTIAL DESIGN GUIDELINES

ARCHITECTURAL FEATURES

A. Wall Surfaces/Facades

1. Typical Façade Design Elements

A building may have a decided narrow and vertical look which is counterbalanced by the introduction of horizontal brick bands and horizontal clerestory windows.

Cornice molding is generally any horizontal decorative molding which crowns any building or furniture element: the cornice over a door or window, for instance, or the cornice around the edge of a pedestal.

A pilaster is a slightly-projecting flattened column built into or applied to the face of a wall. A pilaster appears with a capital, an entablature, in low relief, or flattened against the wall. The pilaster is an architectural element in classical architecture used to give the appearance of a supporting column and to articulate an extent of wall, with only an ornamental function.

Pilasters often appear on the sides of a door frame or window opening on the façade of a building, and are sometimes paired with columns or pillars set directly in front of them at some distance away from the wall, which support a roof structure above. These vertical elements can al-

so be used to support a recessed archivolt around a doorway. The pilaster can be replaced by ornamental brackets supporting the entablature or a balcony over a doorway.

Double hung windows: usually tall and narrow windows articulate a vertical emphasis and are often double hung, or installed in pairs. This creates a square opening while still emphasizing the vertical elements.

Horizontal bands are usually horizontal brick bands introduced as architectural elements or details designed to counterbalance a building that has a vertical look.



2. Repair

Does brick or stone work need repairing and/or repointing? If yes, replace old bricks with matching bricks, not with contemporary commercial "used brick". Repointing of masonry is the replacement of mortar between the bricks or

stones. This should be done with compatible mortar.

Does the surface need to be cleansed of old paint or surface discoloration? If it does, the following must be considered:

- a. Sandblasting is not permitted as it destroys the hard exterior glazed surface of bricks and exposes them to undue penetration by water.
- b. Do not use strong chemical cleaners or high pressure water systems on brick surfaces.
- c. Leave brick unpainted unless it has become so deteriorated that a protective finish is needed.
- d. Clean and repair old tile and marble work.

B. Cornices

Often an old building will have a cornice molding. This is a decorative band at the top of the façade made of masonry, some type of sheet metal, or wood. If this is the case, the Applicant must determine:

1. Does the cornice need repairing?

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2. If the cornice is missing or partially missing can it be replaced?



CORNICE ON COMMERCIAL BUILDING EXAMPLE

C. Windows/Doors

Glass surfaces, including display windows, transom and clerestory windows are very important. Large display windows often serve as the most effective initial connection between the person on the street and your business. They are also a main area for the public to view your merchandise and to read signs in or on the window.

1. Repair—If the windows and doors can be repaired, which is preferable to installing a new product, the following will be considered.
 - a. If windows or doors cannot be repaired use new products that are the same style as the old.

- b. Avoid covering up or changing the size of existing window openings.
- c. Repair existing trim and window sash
- d. If transom windows exist do they operate or can they be made to function?
- e. Clerestory windows were typically designed to admit more light into the building interior which was often quite deep. In order to conceal a lowered ceiling some clerestories have been painted or covered with wood. A clerestory should be made useful again wherever possible

D. Security Systems

The security of a business is also a factor in planning a workable renovation. Alarm systems and adequate illumination at night are the preferred security systems as they do not alter the storefront appearance. Permanently mounted metal window bars will usually not be approved. Metal gates that retract and systems that employ rolling metal shutters may be approved depending on circumstance.

E. Roofing

Because Old Bisbee is situated in a way that permits us to look down on a good portion of the

town, roofing materials and the arrangements of pipes, heating and cooling machinery, skylights and dormers also assume importance in the rehabilitation of structures or the design of new buildings.

Historic free-standing buildings typically have sloped roofs which are found in a wide variety of shapes. The gable, hipped and shed forms are a few of the most common types in Bisbee. In addition to its shape, the elements and details found on a historic roof significantly contribute to its design. Some of the most commonly found roof elements and details include cornices, parapets, pent roofs, eaves, dormers, towers, chimneys, finials, cresting, gutters and downspouts. These are all important, contributing elements to the historic look and character of a building and should be maintained.

F. Awnings

Retractable cloth awnings were once common in the historic district. Awnings are not only practical but may provide additional sign space for the name of your business and shade for pedestrians walking by, allowing them to pause, cool off during summer months and feel invited to explore the Store.

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DESIRABLE COMMERCIAL AWNING EXAMPLE

G. Signs

In addition to any applicable sign requirement within the City of Bisbee Zoning Code, the following development guidelines apply to signs inside the historic district. These guidelines apply to new signs, replacement signs, and signs that are moved.



HISTORIC HANGING COMMERCIAL SIGN EXAMPLE

1. **Approval Authority**—Applications for non-exempt signs to be installed and maintained within the Historic District must first be granted approval either administratively, by the Design Review Board Liaison, or non-administratively by the Design Review Board. Signs that clearly comply with the stated requirements, may be granted administrative approval.
2. **Recommendation Authority**—When deemed necessary, the Design Review Board shall also make a recommendation to the Planning and Zoning Commission for the approval, disapproval or modification of any special use application for a sign within the Historic District.
3. **Additional Limitations**—The Design Review Board has the authority to impose additional limitations or requirements upon the signs to be installed or maintained within the Historic District as necessary to insure that such signs are consistent with these Development Guidelines and the regulations adopted to protect this area and are compatible with the existing development within this district.



NON-HISTORIC HANGING COMMERCIAL

1. New Signs

- a. If windows or doors cannot be repaired use new products that are the same style as the old.
- b. Sign materials shall compliment the materials of the related building.
- c. Building directories are encouraged for multi-tenanted buildings, rather than individual signs for each business.

5. Prohibited Signs

Signs that are out of proportion or scale to the existing development within the district, that are to be illuminated in a manner that would not be consistent with the color,

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lettering or techniques of that were prevalent in the historic period of the district, or that employ technology that would be out of place in the district will not be permitted.

- b. Signs implying that something historic was there and therefore creating a false sense of history are prohibited.
- c. ***Animated LED signs as well as plastic fluorescent illuminated signs are prohibited.***

6. Sign Placement

- a. Signs shall not conceal architectural detail, clutter the building's image, or distract from the unity of the façade, but rather should complement the overall design.
- b. Wall signs shall not detract from or conflict with the related structure's age and design.

7. Sign Attachment

- a. No façade shall be damaged in the application of signs.
- b. On masonry buildings, fasteners must be used only in mortar, not in the masonry itself.

8. Signs · Neon

Neon first appeared in signs in the 1920s and reached its height of popularity in the 1940's. Because of the resurgence of neon in the Historic Districts, guidelines are needed for the application of Neon .

As the same with signs, neon should work with the building that it is being applied to. The neon applied should be of ***classic colors (green, red, blue, yellow, for example)*** and garish colors are not allowed. This also includes excessive signage such as beer signs in windows. Again, this effects the lighting or illumination in the historic district.

Although neon will dim in time, ***the intensity of the neon should be kept at a minimum by limiting the transformer to 20 milliamps.***

The application of neon needs to be treated the same way as signs. It could overpower distinctive features of a historic building instead of enhancing.

The Board and City Staff ask that the proposed neon applications are presented on paper first before any fabrication and installation.

H. Color/Paint on Buildings

The subject of painting commercial buildings and the color schemes that might be involved are of special importance in the Bisbee Historic District. Color schemes and integrity of materials contribute to the historic character and identity of the District. For commercial buildings located within the portion of the District that is officially included within the National Register of Historic Places, each property owner shall obtain specific approval from the Historic District Design Review Board prior to painting or re-surfacing any existing, unpainted brick, stone or block structures and/or prior to covering or altering any of the existing signs painted on the building facades in this area.

I. Outdoor Lighting

1. If original lighting fixtures are present, these should be preserved and repaired.
2. If original fixtures are not present, period lighting may be installed with special attention paid to choosing fixtures that are appropriate to the historical period of the building as well as to the style and scale of the building and the element to which it is attached.

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3. New fixtures should be attached in a manner that avoids damage to historic materials.
4. Lighting shall not adversely affect neighboring buildings, pedestrians, or automobile traffic.
5. The aesthetics of outdoor lighting fixtures is a consideration in the Historic District, especially in the area of commercial remodel and new construction. When the time comes to select lighting fixtures, the collection of photographs in the Mining and Historical Museum will lend assistance in the selection of the lamps that will be authentic style. There are lighting catalogs available that illustrate older fixtures that are still manufactured today.
6. Article 7.10 of the Bisbee City Code "Light Pollution Code" regulates outdoor lighting.

ATTACHED OUTDOOR LIGHTING
EXAMPLE



FREESTANDING OUTDOOR
LIGHTING EXAMPLE



VISIBLE FEATURES

A. Mechanical Equipment

1. **Definition:** HVAC systems, including air conditioning units, heat pumps, air compressors, vents, and other types of mechanical equipment placed outside of buildings, are subject to Board review.
2. **Placement:** Mechanical equipment must be installed so that it will not destroy or damage building materials.
3. **Rooftop Mechanicals:** Rooftop mechanical units are permitted if they can be installed so they are not visible from the public right-of-way. If rooftop mechanical equipment cannot be installed so it is not visible from the street, it must be screened from view, in a manner approved by the Board.
4. **Placement of cables and wires:** Cables and wires should be placed underground whenever possible. If this is not an option, they should be placed on side or rear elevations.
5. **Window units:** Air conditioning window units are not within the purview of the Board, unless their installation will result in damage or the removal of any building parts or materials.

6. **Vents:** Vents include openings intended to eliminate exhaust or exchange air. They may be round, rectangular or square, with or without louvers. Vents must be placed as discretely as possible. They must be installed so they are not readily visible from the public right-of-way and their finish color should correspond with the wall or trim color, unless mounted in a clear material. Their locations should be considerate of the impact on adjacent historic buildings and their installation should result in minimal damage to historic fabric.

B. Vending Machines

1. **Definition:** Vending machines are stations for purchasing or dispensing small-scale items. They are usually free-standing, box-shaped objects. This includes Ice Vending Machines
2. **Limits of approval:** Vending machines are not permitted on streets and sidewalks in the Historic District. Vending machines on private property must be placed so that they are not visible from the street.
3. **Newspaper boxes:** Newspaper boxes are exempt from review by City Code.

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C. Literature Racks

- Definition:** Literature racks, usually made of wood, metal, or plastic, are stands intended to store pamphlets, newspapers, flyers, and other papers for public distribution.
- Placement:** The Board will not approve permanently installed literature racks on public way or where they are visible from a public way.
- Install so that it will not destroy or damage building materials.

D. Water Harvesting Equipment

The City of Bisbee is located in a semi-arid region, near the boundaries of the Chihuahua and Sonora Deserts. This is an area of limited available water resources which periodically experiences long-term droughts. Significant portions of the City of Bisbee are within the Upper San Pedro Watershed and the City derives its domestic water from this area. The City of Bisbee recognizes that the continuing use of the limited water resources within this area will have an impact upon both the groundwater and surface water resources of this area, and in particular upon the viability of the San Pedro River.

The City and its citizens further recognize that they have an obligation to use and to manage these water resources wisely and in a manner that will sustain these resources for future generations. Prudent use of the available water resources is necessary to protect the health, safety and well-being of this community and to avoid potential conflicts with applicable federal law.

The City of Bisbee Zoning Code includes the City Water Conservation Program. The Water Conservation Program is intended to apply on a multi-faceted basis to fulfill these purposes. It includes elements that are intended to limit the impacts of new and additional water uses in this area in a reasonable manner, to apply appropriate regulations that will improve the efficiency of new and remodeled facilities and to encourage the citizens of Bisbee to engage in conservation practices.

Historically, water conservation was a part of daily life. Cisterns collected rainwater and water was reused. Modern greywater recycling systems evolved from traditional water conservation methods. In addition to complying with all applicable requirements provided in the Water Conservation Program of the City of Bisbee Zoning Code, water harvesting methods, techniques and features within the Historic District shall comply with the following guidelines.



**EXAMPLE OF NON-INTRUSIVE
UNDERGROUND CISTERN**

- Water harvesting shall not significantly alter or conceal any building or structure's historic features, materials, design elements and/or the character of the Historic District.
- Efficient irrigation systems utilized to conserve water or to recycle greywater or rainwater shall not conceal or alter any building or structure's features, materials, design elements and/or the character of the Historic District.

**EXAMPLE OF
STREETSCAPE
WITH
WATER HAR-
VESTING**



MATERIAL TYPE USER GUIDE—BISBEE HISTORIC DISTRICT

In deciding the selection of appropriate architectural materials and architectural features allowed within the historic district it is first necessary to determine the relative historical importance of the property as well as the overall condition of the structure. The following information provides a condensed explanation of the current status and condition of properties and how that property status may be considered in the decision making process by the Bisbee Design Review Board towards approval of building applications. Applications typically fall into one of three broad categories: PRESERVATION, MAINTENANCE and RENOVATION. Applications should consider the relevant historical importance of the property using the following guidelines.

1. PRESERVATION

This is defined as retaining as much as possible, original features and materials in order to preserve the structure and property to be historically accurate to the place and time of historic importance. The following questions should be considered:

Is the building a nationally significant resource?

Is it a rare survivor or the work of a master architect or craftsman?

Did an important event take place at the property?

Is it an excellent example of historical vernacular construction that has remained true to its original design with little or no visual exterior alterations?

Properties that fit one or more of these descriptions should maintain as much of the original architectural materials and or features as possible. In cases where the original material or features are no longer functional or compliant, efforts should be taken to restore the feature to a functional and compliant state with a minimum amount of visual alteration. Should windows, doors or other architecturally important features require replacement, efforts should be made to replace with repurposed vintage features or approved contemporary materials using vintage designs.

2. MAINTENANCE

This is defined as repairing or replacing historic materials and or features using historic reuse or code compliant city approved new materials. Consideration shall be given to size, scale, proportion and massing to protect the historical integrity of the property. The following questions should be considered:

Is the building an example of typical area specific architecture?

Has the building fallen into disrepair or are there compliance issues with the structure?

Has the building undergone modifications over its lifetime that has changed the historical character of the structure?

Properties that fit one or more of these descriptions shall retain the overall original character of the architecture in the area. Any new additions or alterations should take into consideration size, scale, proportion and massing of architectural features and building design to keep with the general integrity of the historic district. Replacement and new addition materials shall be city approved, code compliant and installed with historically accurate styling. The use of original doors, windows and other historic architectural materials should be encouraged when practical, however, consideration should be given to new materials when the cost of refurbishment or availability make them prohibitive.

MATERIAL TYPE USER GUIDE—BISBEE HISTORIC DISTRICT

3. RENOVATION

This is defined as removing, replacing or relocating historic materials and/or features for the purpose of compatible new use of the property. Room additions, window/door additions or relocations, patio addition / removal, changes to a roofline all fall under this category. The following questions should be considered:

If the building were to be renovated in its current format would it be financially viable, i.e. would the cost of renovation in its current footprint be more than the building is worth?

Is the building too small for practical contemporary use? Could the addition of a bathroom or extra square footage make the structure an asset to the historic district in general by better fitting the needs of the community?

Is the overall condition of the structure such that extensive replacement of architectural features (doors/windows/trim/etc.) is needed to assure viability of the building for future generations?

Properties that fit one or more of these descriptions shall be considered for extensive renovative treatment that may include new code compliant city approved architectural materials installed with historically accurate styling. Recovered and/or reuse historic materials could be utilized in conjunction with contemporary materials to add historical value and artistic flair. Street view elevations should maintain size, scale, proportion and massing of architectural features and building design to keep within the structures historic design and general integrity of the historic district.

SELECTION OF MATERIALS

The following are city-approved materials to be used in conjunction with considerations for the overall condition of the property and the relative historic importance of the structure;

Windows (Chapter 3, Development Guidelines for Bisbee Historic District)

- Wood
- Anodized or painted metal clad wood provided the correct sill and trim detail is used

- Anodized Aluminum provided the correct sill and trim detail is used
 - Fiberglass provided the correct sill and trim detail is used
 - Vinyl provided the correct sill and trim detail is used
 - All other material types will be reviewed on a case-by-case basis
- * see Chapter 3 for acceptable window configuration types**

Doors (Chapter 3, Development Guidelines for Bisbee Historic District)

- Paneled doors of various materials and configuration
- Flush or flat doors shall be discouraged
- *see Chapter 3 for acceptable window configuration types**

Siding and Wall Treatment (Chapter 3, Development Guidelines for Bisbee Historic District)

- Wood (intumescent coating can be used to help fire resistance)
- Shingle (purpose built exterior wall siding not asphalt roofing)
- Brick
- Stucco
- Corrugated metal
- Exterior plywood 3" battens spaced 12" on center
- Various hardboard siding products, fiber cement and engineered wood intended to imitate natural wood
- *see Chapter 3 for acceptable window configuration types**

Roofing (Chapter 3, Development Guidelines for Bisbee Historic District)

- Various built-up roofing systems (commercial buildings)
- Asphalt shingles and roll roofing
- Corrugated and standing seam metal

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A SPECIAL MESSAGE

Buildings and Structures in Historic Districts should be recognized as a product of their own period of time. Historic Districts do not disappear overnight, but they can be slowly destroyed one piece at a time. An original brick face is painted over, an intricate cornice is removed, a sign is hung or painted in an elegant transom window these are just some examples on how Historic Districts are slowly destroyed and how they can disappear.

The Historic District Design Review Board and City Staff cannot preserve Bisbee's Historic Districts by themselves. They need the help of every property and business owner in order to preserve Bisbee's unique and historical character. Let us all continue to work together.

“Dark Skies” Reference City Ordinance O-22-11 7.10 Light Pollution Adopted November 1, 2022 for Residential / Commercial